

DRAFT PLANNING AND DESIGN CODE



HISTORIC AREA STATEMENTS AND CHARACTER AREA STATEMENTS PROPOSAL TO AMEND PHASE 3 (URBAN AREAS) PLANNING AND DESIGN CODE AMENDMENT

City of Prospect



Purpose

The State Planning Commission has released for public consultation the Urban Areas Planning and Design Code Amendment that applies to metropolitan Adelaide, regional cities and larger towns.

This new Code is the cornerstone of South Australia's new planning system and will become the state's single source of all planning zones and rules for assessing development applications. It will replace all 72 Development Plans by 1 July 2020.

The Code aims to make the development application process quicker, simpler and more equitable, giving people greater access to planning information that is consistent and clear, and available online.

With the introduction of the Code, some changes are proposed to the way we manage heritage in this State. This documents sets out what's new, and seeks your feedback on new historic area and character statements that will help guide development in areas of historic or character importance in South Australia.

What is proposed?

The State Planning Commission is required by legislation to set up a new planning system that makes heritage policy and rules clearer, fairer and easier for all. Heritage in South Australia is protected by heritage specific legislation (the *Heritage Places Act 1993*) and through the planning legislation (the *Development Act 1993* and its successor, the *Planning, Development and Infrastructure Act 2016*). The *Heritage Places Act 1993* provides for a listing process for heritage that is judged to be of state significance. The planning legislation provides for a parallel system to list heritage that is deemed to be of local significance.

State Heritage Places and Areas

In the new planning system, all current State Heritage Areas (17) and State Heritage Places (approx. 2,300) will transfer directly into the new Planning and Design Code under a State Heritage Areas Overlay and a State Heritage Places Overlay. They will continue to be protected under the *Heritage Places Act 1993* and continue to be listed in the South Australian Heritage Register.

State heritage protections have been further strengthened with the Minister for Heritage given greater authority to direct decisions (at present the Minister is only empowered to provide advice). Importantly, the Minister cannot direct approval of demolition.

Demolition controls will apply in both State Heritage Areas and State Heritage Places Overlays, with any proposal to demolish a building/structure to be assessed using a single set of criteria including:

- the building's existing heritage values
- the structural condition of the building and risk to safety.

The State Heritage Overlay could be complemented by State Heritage Statements that assist in describing the historical themes and elements that are important considerations in development assessment. Regardless, development within State Heritage Areas triggers a referral to the Heritage Minister and as such, will be assessed against the relevant Conservation Management Plans and guidelines.

Importantly, where a State Heritage Places Overlay applies, it takes precedence over any other planning requirements.

Local Heritage Places

In the new planning system, all Local Heritage Places (approx. 7,250) currently identified in council Development Plans will transfer directly into the new Planning and Design Code under a Local Heritage Places Overlay. They will continue to be listed in the South Australian Heritage Register, and will also be accurately mapped in the State Planning Atlas (currently under development).

Demolition controls will apply in the Local Heritage Places Overlay, with any proposal to demolish a building/structure to be assessed using a single set of criteria including:

- the building's existing heritage values
- the structural condition of the building and risk to safety.

The important elements of a local heritage place are to be included as part of the listing and assist in assessing any alterations or additions to these places.

It is acknowledge that at the current time, different Council development plans have different rules applying to Local Heritage Places. The Commission has proposed an approach to heritage protection which is consistent across council boundaries.

Historic Areas

A new Historic Areas Overlay

In the new planning system, all Historic Conservation Zones (over 140 are currently in development plans) and the similarly named zones, plus the 11,810 contributory items within these zones will transition into the new Planning and Design Code under a new Historic Area Overlay. The Overlay will apply to local areas that exhibit discernible historic character worthy of retention.

Demolition controls will apply in the Historic Area Overlay, with any proposal to demolish a building/structure to be assessed using a single set of criteria including:

- the building's historic characteristics and the ability to reasonably, economically restore it
- the contribution the building makes to the historic character of the streetscape
- the structural integrity/condition and the ability to economically restore it.

Some councils (25 of 68) have used 'contributory items' to identify specific buildings that contribute to the character of an area. However, not all councils with Historic Conservation Zones have included them, and there are vast differences in their demolition and public notification policies. No new contributory items have been listed since 2012.

In developing the Code, the Commission has proposed that contributory items not be individually identified in the new planning system because they have no statutory basis; have been applied inconsistently and processes to identify them have not afforded home owners the rights associated with the listing of state and local heritage.

The intention of the Historic Area Overlay is to ensure Historic Conservation Zones and the contributory items within them are subject to a consistent assessment process and the same level of protection. In this way, the Overlay will bring equality and fairness to land owners regardless of where they live.

New Historic Area Statements

At the time the draft Planning and Design Code for Urban Areas was released for public consultation, it was foreshadowed that historic statements could be drafted to support the Historic Area Overlay. The Historic Area Statements were proposed to be introduced in the Code to help clearly identify and articulate the key elements of historic importance in a particular area. These were intended to replace Desired Character Statements in existing Development Plans.

- The proposal to include Historic Statements has gained support through the consultation process, and 22 councils have participated in the drafting process. The work prepared by Councils has been edited where necessary to provide a level of consistency in drafting style. Key amendments to the statements include the removal of prescriptive numbers which are covered in other areas of the code, the removal of background information and words that talk about what development should do (this is the role of the Overlay).
- Over 200 Historic Area Statements have now been prepared, which will affect in the order of 40,000 properties across South Australia that are proposed to be transitioned into the new Historic Areas Overlay. Importantly, these statements are based on existing Development Plan content. The intent of these Statements is not to provide lengthy background statements, but to distil the critical information required to make an informed planning decision that results in development that complements the existing (historic) character of a particular location. The Statements should be used to determine the prevailing styles and patterns of development for the purposes of interpreting all policies within the Overlays. Councils will be able to evolve these statements over time.
- Importantly, the maps shown in the attached statements are illustrative only. These will be removed when the final Planning and Design Code becomes operational. At this time, you will be able to click on your property and pull up the statement that is relevant to you, as well as other planning information.

Landowners affected by this change will be directly notified by letter of the proposal in accordance with legislative requirements.

Character Areas

Character Area Overlay

All Character Areas, such as residential character zones in council Development Plans which capture a desired visual appearance that give a community its identity, will continue to be protected in the new planning system under a Character Area Overlay. They will be accurately mapped in the State Atlas, with special individual characteristics of these areas reflected in zones and subzone policies to allow for suburban differences and uniqueness.

As in the former planning system, demolition within Character Areas will not require planning approval, however proposals for replacement dwellings will undergo rigorous assessment to ensure that existing character is maintained or enhanced.

Character Area Statements

Character Area Statements will be introduced to help clearly identify and articulate the key elements of importance in a particular area. These will replace Desired Character Statements in existing Development Plans. A set of generic examples were released with the Code and have now been updated in the same way as the historic areas statement. Like the Historic Area Statements, several Councils have participated in the drafting process.

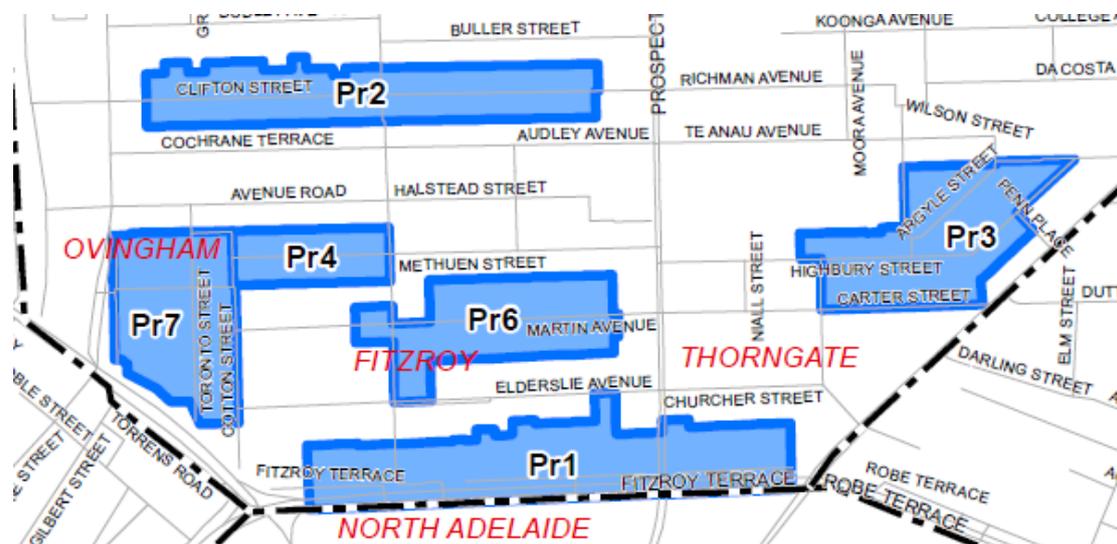
Historic Areas affecting City of Prospect

Fitzroy Terrace Historic Area Statement (Pr1)

Historic Area Overlays identify localities that comprise unified, consistent characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.

These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of an Historic Area.

The preparation of a Heritage Impact Statement can assist in determining potential additional attributes of an Historic Area where these are not stated in the below table.



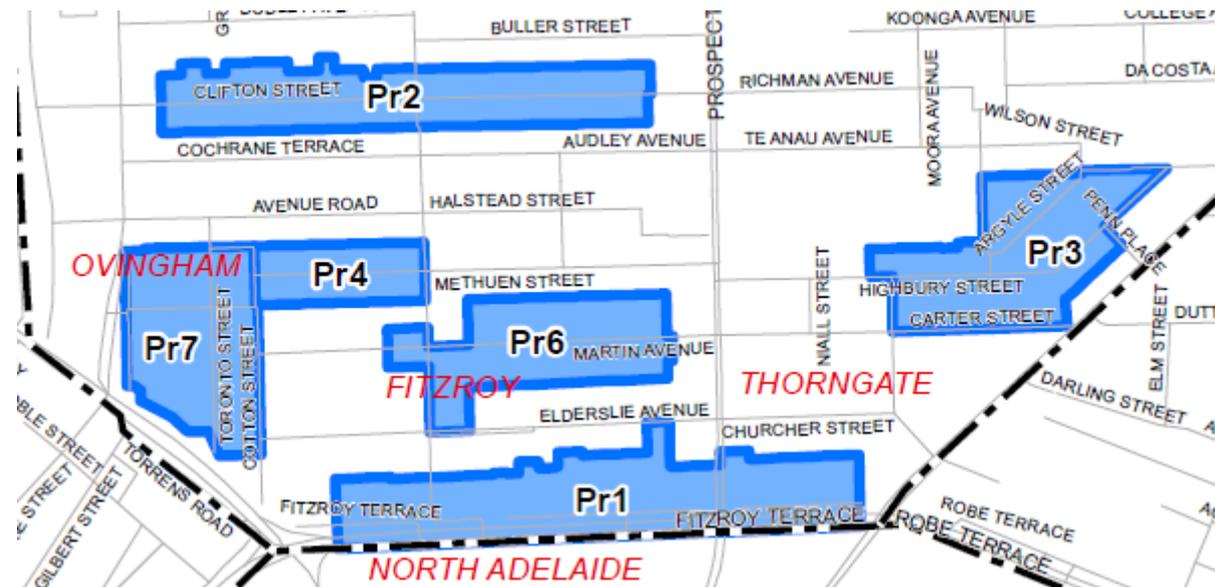
Eras and themes	Late 19th and Early 20th century mansion style housing.
Allotments and subdivision patterns	Very large spacious allotments with wide frontages Sizable setbacks from all boundaries with sizable spaces between buildings. The established pattern of buildings sited away from allotment boundaries makes a significant contribution to the character.
Architectural features	Very large mansion style dwellings. Additions to the rear or side of dwellings. Range of designs with homogeneity derived from decorative front facades, pitched roofs, brick chimneys & front verandahs and building placement on allotments.
Building height	Up to 2 storeys.
Materials	Variety of materials and colour finishes with additional detailing around windows, doors and edges of walls.
Fencing	Low open style (to 1.2 metres high). Fencing that associated with the period and style of the dwelling
Setting and public realm features	Substantial well landscaped gardens with front yards that complement the style of the dwelling. Landscaping around dwellings.

Clifton Street Historic Area Statement (Pr2)

Historic Area Overlays identify localities that comprise unified, consistent characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.

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Eras and themes	Late 1870s, late 19th housing for middle class home buyers
Allotments and subdivision patterns	Original subdivisions of 1881, 1882 and larger allotments of 1894-95 at western end of street. Consistent, large front setbacks. Large and small asymmetrical side setbacks to dwellings. The set-back and pattern of coverage creates a notable streetscape with vistas and views towards the west.
Architectural Features	Consistent front verandahs with highly decorative cast iron and timber trim, hipped and gabled pitched roofs and brick chimneys. 1880s-1890s residential designs along Clifton Street reflecting speculative subdivision. Double fronted cottages with central gable feature and front steps to raised finished floor levels to respond to the falling topography to the west.
Building height	Single storey, moderate residential scale. Essentially single storey residences which take advantage of the sloping topography to the west.
Materials	Stone walls and limited external colour palette with detailing around windows, doors and edges of walls.
Fencing	Low open style (to 1.2 metres high) with mainly masonry and iron materials.

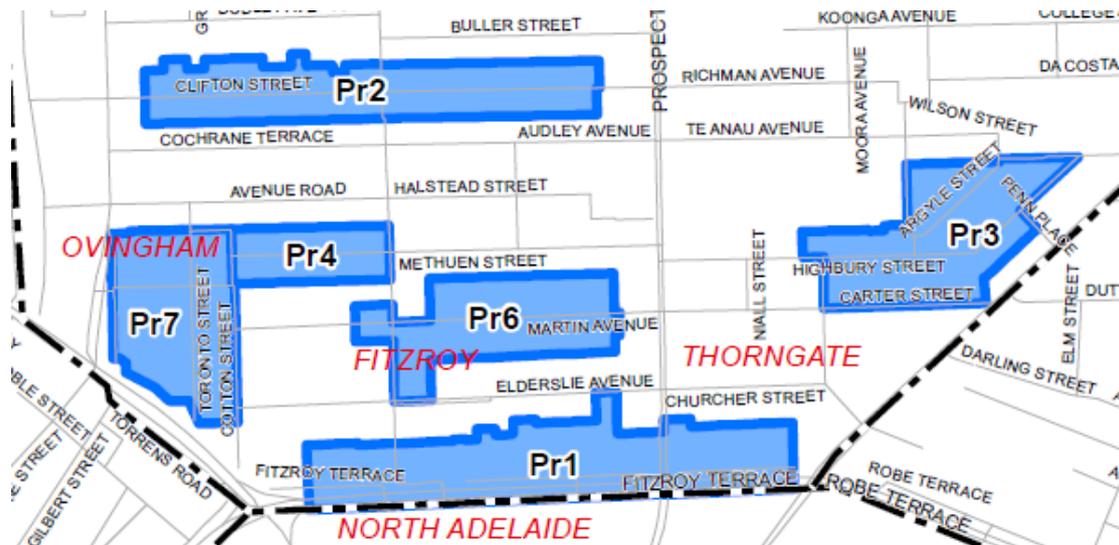
Setting and public realm features	Homogenous streetscape of houses and associated buildings. Substantial well landscaped gardens with front yards that complement the style of the dwelling. Narrow verge with mature street trees.
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Little Adelaide Historic Area Statement (Pr3)

Historic Area Overlays identify localities that comprise unified, consistent characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.

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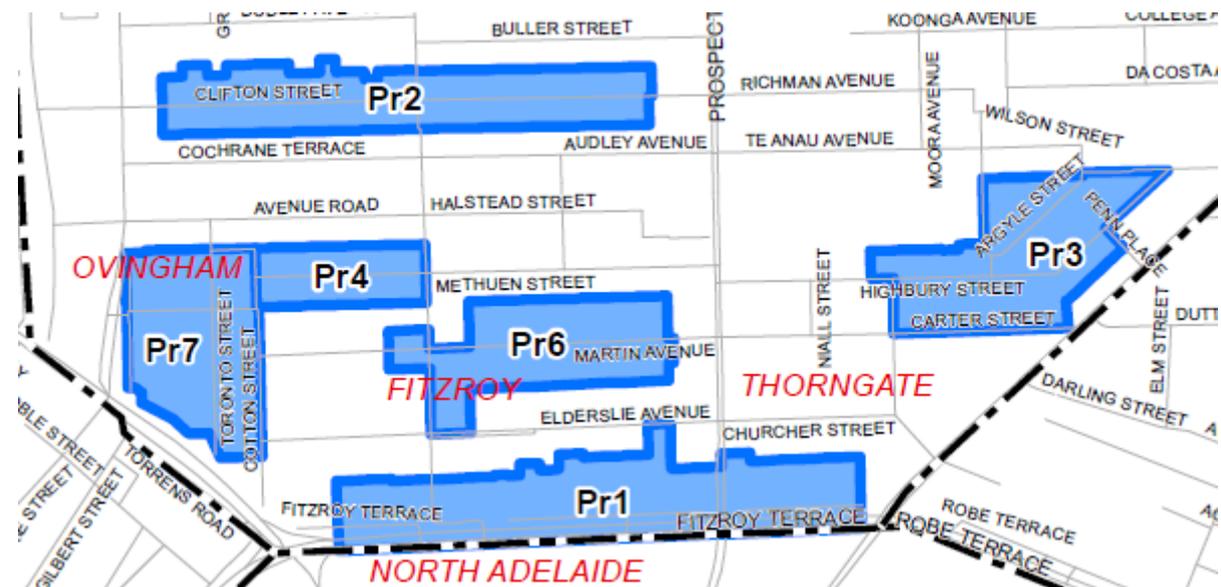
Eras and themes	Little Adelaide Village formed in late 1839.
Allotments and subdivision patterns	Is centred on a triangle created by Main North Road, Carter Street, Highbury Street and Argyle Street. Narrow allotments of varying widths and narrow streets Small setbacks from all boundaries with compact spaces between buildings.
Architectural features	Cohherent pattern of small cottages with common features including pitched roofs, brick chimneys & front verandahs. Single fronted and attached cottages are predominant, mainly from 1870-1890s. The village retains a church, corner shops (former) and other buildings typical of early village settlement.
Building height	Single storey. Compact small single fronted and attached cottages.
Materials	Stone walls and limited external colour palette with detailing around windows, doors and edges of walls. Corrugated iron roofs.
Fencing	Low open style (to 1.2 metres high). Fencing associated with the period and style of the dwelling.
Setting and public realm features	Small front yards and limited space between buildings. Public realm characterised by narrow street and verge with limited room for landscaping. Village atmosphere.

Whinham Street Historic Area Statement (Pr4)

Historic Area Overlays identify localities that comprise unified, consistent characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.

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Eras and themes	Late 19th century villas
Allotments and subdivision patterns	Regular subdivision pattern. Consistent moderate street setbacks. Large and small asymmetrical side setbacks to dwellings.
Architectural features	Consistent front verandahs with highly decorative cast iron and timber trim, hipped and gabled pitched roofs and brick chimneys. 19th century villas with face stone walls and gable ends, verandahs with cast iron or timber trim, steeply pitched corrugated iron roofs and elaborate rendered trim to window surround.
Building height	Single storey, moderate residential scale. Additions at the rear or side dwellings.
Materials	Bluestone walls and limited external colour palette with detailing around windows, doors and edges of walls.
Fencing	Low open style (to 1.2 metres high). Masonry and iron. Fencing associated with the period and style of the dwelling.
Setting and public realm features	Substantial well landscaped gardens with front yards that complement the style of the dwelling. Narrow verge with mature street trees. Relative lack of high, solid fencing enables the principal elevation of the homes to be visible from the public realm.

Flora Terrace Historic Area Statement (Pr5)

Historic Area Overlays identify localities that comprise unified, consistent characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.

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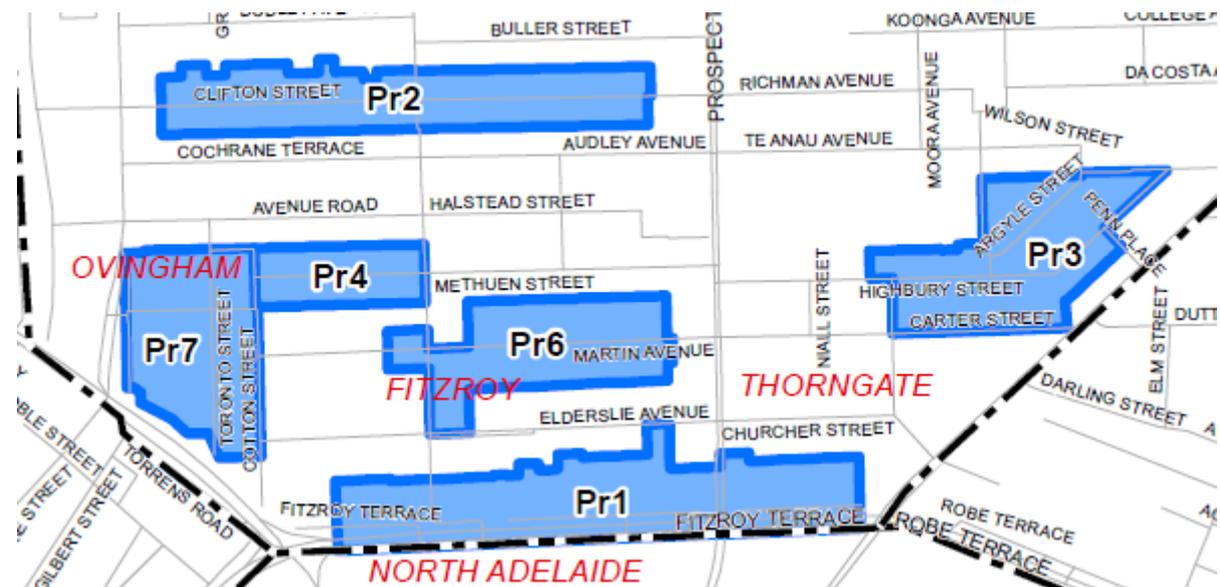
Eras and themes	Late 19th and early 20th centuries residential. Focus of commemoration of war service, civic activities and important sporting events.
Allotments and subdivision patterns	Regular subdivision pattern. Three separate land divisions between 1892 and 1923 – part of the Oxford subdivision of 1892 on south side of the Terrace with, part of St John’s Wood South subdivision in 1909 on north side with larger allotments of and part of a 1923 division of the eastern end to the Memorial Gardens of. Consistent setbacks. Large and small asymmetrical side setbacks to dwellings
Architectural features	Range of designs. Decorative front facades (detailing around windows, doors verandahs & gables), pitched roofs, brick chimneys & front verandahs. Houses display style, form and detail of the relevant periods of historic development – 1892 to the 1920s
Building height	Single storey and large residential scale.
Materials	Face stone and brick walls and corrugated iron or terra cotta roofs.
Fencing	Low open style (to 1.2 metres high). Fencing associated with the period and style of the dwelling.
Setting and public realm features	Substantial front gardens. Very leafy streetscape. Civic and residential character Strong visual axis between the Town Hall and the Memorial Gates to Prospect Oval.

Martin Avenue Historic Area Statement (Pr6)

Historic Area Overlays identify localities that comprise unified, consistent characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.

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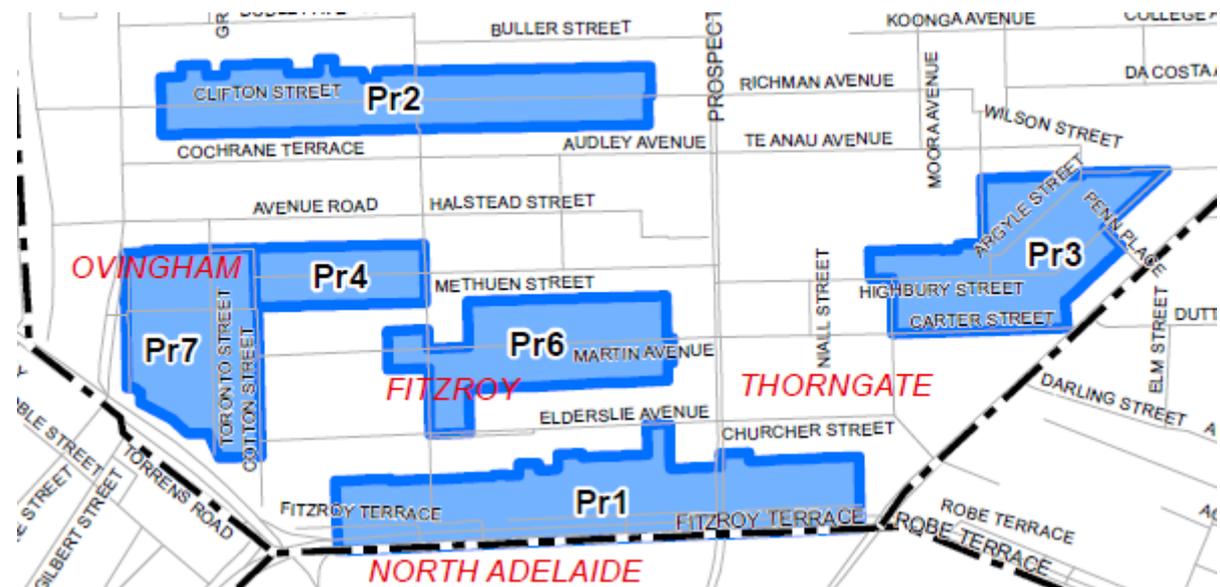
Eras and themes	Inter-War residential
Allotments and subdivision patterns	Large allotments Regular generous front setbacks. Large and small asymmetrical side setbacks to dwellings.
Architectural features	Mix of bungalows, 'gentleman's residence' and tudor homes. Range of designs with homogeneity derived from decorative front facades, pitched roofs, brick chimneys & front verandahs. Additions to the side and rear of dwellings. Two storey additions within roof space or to rear of buildings.
Building height	Single to two storey and large residential scale.
Materials	Face stone and brick walls and terracotta tiled roofs, original finishes.
Fencing	Low open style (to 1.2 metres high). Fences comprising low masonry plinth with regularly spaced columns and iron above to a medium height.
Setting and public realm features	Large, well landscaped front yards as an extension of a green and leafy streetscape with mature canopy over grassed verges. Street trees and wide grassed verges combine with the generous setbacks to contribute to the spacious appearance of the public realm.

North Ovingham Historic Area Statement (Pr7)

Historic Area Overlays identify localities that comprise unified, consistent characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.

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The preparation of a Heritage Impact Statement can assist in determining potential additional attributes of an Historic Area where these are not stated in the below table.



Eras and themes	Late 19th Century housing. 1877 – 1879
Allotments and subdivision patterns	Small allotments. Double fronted, narrow, deep allotments between Toronto Street and Cotton Street. Small setbacks from all boundaries with compact spaces between buildings
Architectural features	Coherent pattern of small cottages with common features including pitched roofs, brick chimneys & front verandahs. Primarily double fronted cottages with central gable feature and front steps to raised finished floor levels to respond to the falling topography on individual allotments from east to west. Small symmetrically fronted or attached stone houses remain in Toronto Street and larger examples of similar style fronting Churchill Road.
Building height	Single storey and small residential scale.
Materials	Stone walls and steps facing stone and brick houses and attached cottages with verandahs, corrugated iron roofs
Fencing	Low open style (to 1.2 metres high).
Setting and public realm features	Small front yards and limited space between buildings. Public realm characterised by narrow street and verge and moderate canopy cover from semi-mature street trees. Mature gardens which spill onto the street.

Prospect Lanes Historic Area Statement (Pr8)

Historic Area Overlays identify localities that comprise unified, consistent characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.

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Eras and themes	Turn of the century development of Prospect (1880s to early 1900s)
Allotments and subdivision patterns	Regular subdivision pattern with consistent large frontages and site areas. The series of laneways that link the allotments are distinctive features within the sub division. Regular moderate front setbacks. Large and small asymmetrical side setbacks to dwellings.
Architectural features	Homogeneity derived from front facades with detailing around windows/doors/verandahs & gables, pitched roofs, brick chimneys & front verandahs. Cottages and villa homes on higher areas overlooking Churchill Road and beyond. Housing in the area displays a consistency of character reflecting the styles of domestic architecture at the turn of the century. Houses incorporate concave or bull-nosed verandahs and other typical detail and generally comprise face stone front walls, with brick or rendered quoins, and window and door dressings.
Building height	Single storey.
Materials	Stone walls and limited external colour palette with detailing around windows, doors and edges of walls. Corrugated iron roofs.
Fencing	Low open style (to 1.2 metres high). Fencing associated with the period and style of the dwelling.
Setting and public realm features	Consistent moderate street setbacks Large and small asymmetrical side setbacks to dwellings. Rear lane access.

Highbury Historic Area Statement (Pr9)

Historic Area Overlays identify localities that comprise unified, consistent characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.

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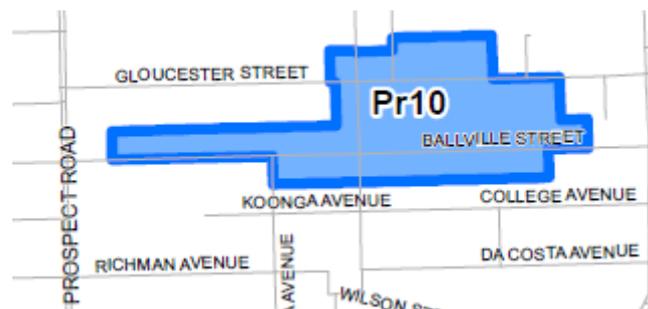
Eras and themes	1882 subdivision. Turn of the century residential development.
Allotments and subdivision patterns	Regular subdivision pattern with consistent large frontages and site areas. Regular moderate front setbacks. Large and small asymmetrical side setbacks to dwellings
Architectural features	Homogeneity derived from front facades with detailing around windows/doors/verandahs & gables, pitched roofs, brick chimneys & front verandahs. Bull-nosed verandahs, brick quoining, and stone front walls.
Building height	Single storey and moderate residential scale.
Materials	Stone walls and limited external colour palette with detailing around windows, doors and edges of walls. Corrugated iron roofs.
Fencing	Low open style (to 1.2 metres high).
Setting and public realm features	Well landscape front yards as an extension of a green leafy streetscape.

Ballville/Gloucester Historic Area Statement (Pr10)

Historic Area Overlays identify localities that comprise unified, consistent characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.

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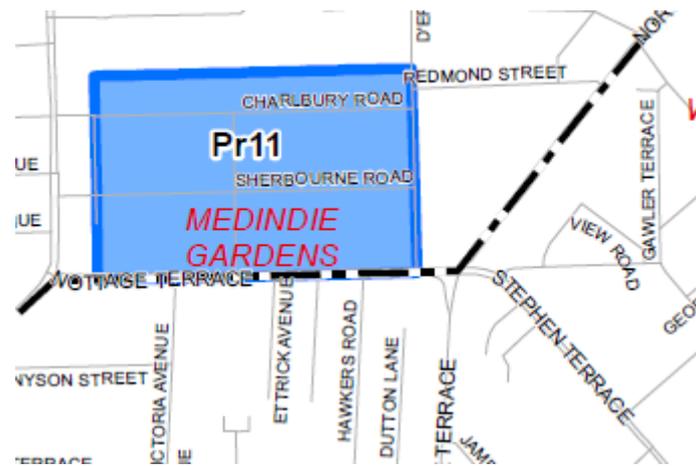
Eras and themes	1878 subdivision. Turn of century residential development.
Allotments and subdivision patterns	Original subdivision, modest allotments with large frontages. Consistent moderate street setbacks. Large and small asymmetrical side setbacks to dwellings.
Architectural features	Primarily detached housing reflecting styles of domestic architecture at the turn of the century. Homogeneity derived from front facades with detailing around windows/doors/verandahs & gables, pitched roofs, brick chimneys & front verandahs.
Building height	Single storey and moderate residential scale.
Materials	Stone walls and limited external colour palette with detailing around windows, doors and edges of walls. Corrugated iron roofs.
Fencing	Low open style (to 1.2 metres high). Fencing associated with the period and style of the dwelling.
Setting and public realm features	Limited landscaping and dominant built form from small front yards and narrow road verges. Gloucester Street has greener front yards and public realm. St Cuthbert's Anglican Church and its adjacent manse are prominent landmarks.

Medindie Gardens Historic Area Statement (Pr11)

Historic Area Overlays identify localities that comprise unified, consistent characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.

These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of an Historic Area.

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Eras and themes	Inter-War period housing, particularly pre 1930.
Allotments and subdivision patterns	Original, regular subdivision pattern of generously sized allotments and wide frontages. Consistent large front and side setbacks
Architectural features	Predominantly bungalows to the east of Corbin Road and tudor-style houses to the west. Homogeneity derived from front facades with detailing around windows/doors/verandahs & gables, pitched roofs, brick chimneys & front verandahs.
Building height	Single storey and large residential scale. Two storey within roof space or to rear of buildings.
Materials	Stone and brick walls and limited external colour palette with detailing (including glazed bricks) around windows, doors and edges of walls and corrugated iron or terra cotta roofs. Consistent use of materials including rock faced stone and masonry, face red brick, terracotta roof tiles or corrugated iron, glazed bricks for trim and other details and materials typical of the housing of the Inter-War Period.
Fencing	Low open style (to 1.2 metres high). Fencing associated with the period and style of the dwelling.
Setting and public realm features	Large well landscaped front yards and tree lined streets above grassed verges. Consistent pattern of prestigious single storey detached dwellings on generous allotments fronting tree-lined street. Spacious and open feel.

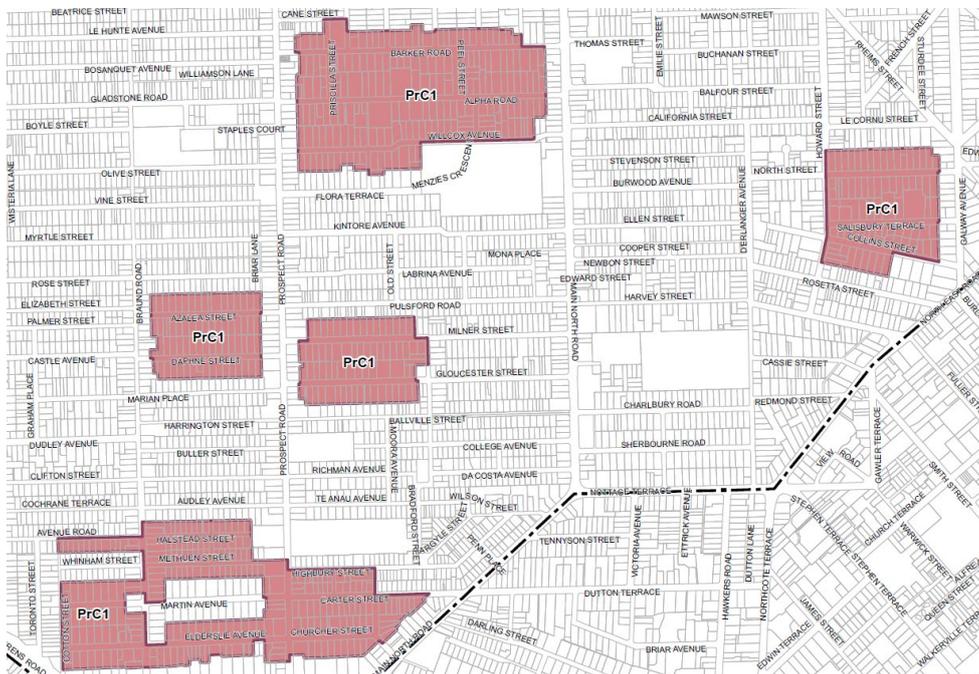
Character Areas affecting City of Prospect

Suburban Neighbourhood 1 Character Area Statement (Pr-C1)

Character Area Overlays identify localities that comprise valued character attributes. They can be characterised by a consistent rhythm of allotment patterns, building setting and spacing, landscape or natural features and the scale, proportion and form of buildings and their key elements.

These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of a Character Area.

The preparation of a Contextual Analysis Report can assist in determining potential additional attributes of a Character Area where these are not identified in the below table.



Eras and themes	Late 19th and Early 20th centuries residential. Limited post-1950s residential.
Allotments and subdivision patterns	Spacious allotments. Large allotment frontages. Large front setbacks. Street facing front dwelling facades. Large spaces around and between dwellings including generous and asymmetrical (one side larger than the other) side setbacks between dwellings. Typically two storey dwellings display consistent side boundary setbacks on both sides.
Architectural features	Majority bungalows and villas of a significant scale. Pitched roofs with their vertical proportion similar to wall height and typically around 25 to 49 degree pitch. Prominent front verandahs of bull-nose or concave design. Moderate front façade detailing and articulation (wall off-sets, verandahs and deep eaves) with walls with a solid to void ratio of greater than 1:1 and fenestrations showing a vertical prominence.
Building height	Primarily single storey presentation to the street with two storey components sited behind.

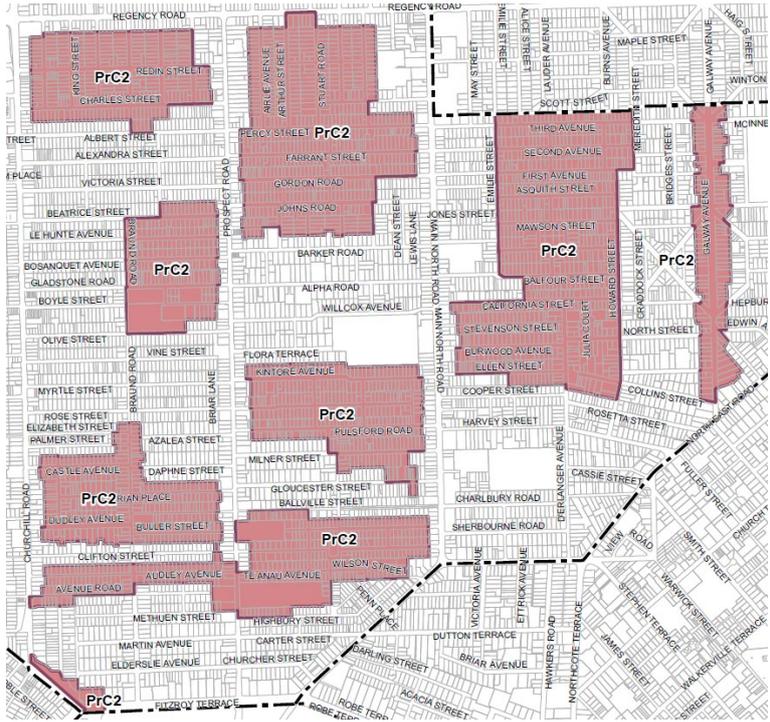
	<p>1 to 2 storey dwellings with vertical proportions consistent with traditional dwellings (wall height at least 3 metres and no more than 3.6 metres for single storey and up to 7 metres for two storeys).</p> <p>Large scale buildings in context with large to very large allotments and frontages.</p>
Materials	<p>Stone, brick and rendered finishes.</p> <p>Detailing around doors, windows, wall edges and gables.</p> <p>Limited colour palette for the majority of building façade (sandstone to reds; bluestone and grey tones) with colour highlights in the detailing.</p>
Fencing	<p>Open style and low in height (to 1.2 metres high). Fencing style associated with dwelling style and era of development.</p>
Setting and public realm features	<p>Leafy public realm that visually dominates or supports the built form.</p> <p>Extensively landscaped front yards with mature vegetation. Mature vegetation in public realm.</p>

Suburban Neighbourhood 2 Character Area Statement (Pr-C2)

Character Area Overlays identify localities that comprise valued character attributes. They can be characterised by a consistent rhythm of allotment patterns, building setting and spacing, landscape or natural features and the scale, proportion and form of buildings and their key elements.

These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of a Character Area.

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Eras and themes	Late 19th and Early 20th centuries residential. Limited post-1950s residential.
Allotments and subdivision patterns	Large allotments. Large allotment frontages. Large front setbacks along with reasonable side setbacks. Street facing front dwelling facades. Moderate spaces around dwellings including asymmetrical (one side larger than the other) side setbacks between dwellings. Typically two storey dwellings to display consistent side boundary setbacks on both sides.
Architectural features	Mainly single storey detached bungalows, cottages and villas. Pitched roofs with the vertical proportion similar to wall height and typically around 25 to 49 degree pitch. Front verandahs (with bull-nose or concave design) with façade detailing and moderate articulation. Moderate front façade detailing and articulation (wall off-sets, verandahs and deep eaves) with walls with a solid to void ratio of greater than 1:1 and fenestrations showing a vertical prominence.
Building height	Primarily single storey presentation to the street with any two storey components sited behind. Predominantly 1 storey dwellings with vertical proportions consistent with traditional dwellings at least 3 metres and no more than 3.6 metres in wall height for single storey and up to 7 metres for two storeys.

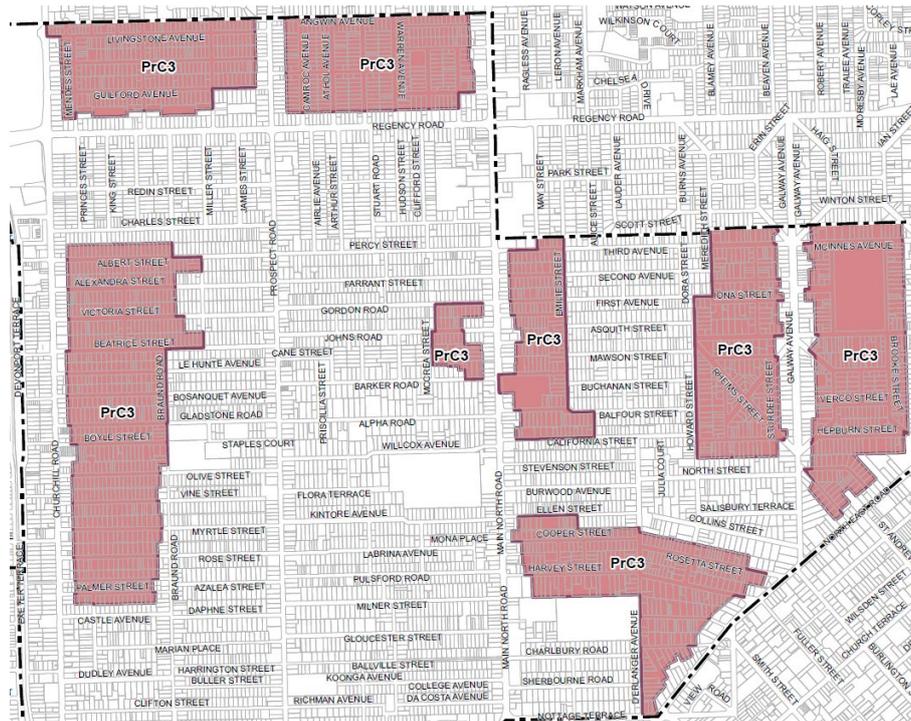
	Moderate scale in context with low rise development, allotment size and frontages.
Materials	<p>Stone, brick and rendered finishes.</p> <p>Detailing around doors, windows, wall edges and gables</p> <p>Limited colour palette for the majority of building façade and roof areas (sandstone to reds; bluestone and grey tones) with complementary colour highlights in the detailing.</p>
Fencing	Open style and low in height (to 1.2 metres high). Style associated with dwelling style and era of development.
Setting and public realm features	<p>Leafy public realm that supports the built form.</p> <p>Well landscaped front yards with mature vegetation. Front and side garden landscaping. Leafy, garden suburb character and visual separation between houses.</p>

Suburban Neighbourhood 3 Character Area Statement (Pr-C3)

Character Area Overlays identify localities that comprise valued character attributes. They can be characterised by a consistent rhythm of allotment patterns, building setting and spacing, landscape or natural features and the scale, proportion and form of buildings and their key elements.

These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of a Character Area.

The preparation of a Contextual Analysis Report can assist in determining potential additional attributes of a Character Area where these are not identified in the below table.



Eras and themes	Early 20th century residential. Some examples of residential infill comprising units, conventional and recent dwellings.
Allotments and subdivision patterns	Moderate sized allotments Moderate to compact allotment frontages. Street facing front dwelling facades. Moderate to compact asymmetrical spaces between dwellings providing physical and visual separation between dwellings. Typically two storey dwellings to display consistent side boundary setbacks on both sides.
Architectural features	Many bungalows with some cottages, tudor and art deco housing. Pitched roofs with the vertical proportion similar to wall height and typically around 25 to 49 degree pitch. Front verandahs with façade detailing and moderate articulation (wall off-sets, verandahs and deep eaves) walls with a solid to void ratio of greater than 1:1 and fenestrations showing a vertical prominence.
Building height	Primarily single storey presentation to the street with two storey components sited behind. Predominantly 1 storey dwellings with vertical proportions consistent with traditional dwellings (at least 3 metres and no more than 3.6 metres in wall height).

	Moderate to compact scale in context with low rise development, allotment size and frontages.
Materials	<p>Stone, brick and rendered finishes and durable materials.</p> <p>Detailing around doors, windows, wall edges and gables</p> <p>Limited palette for the majority of building façade and roof areas with colour highlights in the detailing (sandstone to reds; bluestone and grey tones) with complementary colour highlights in the detailing.</p>
Fencing	Open style and low in height (to 1.2 metres high). Style associated with dwelling style and era of development.
Setting and public realm features	<p>Leafy public realm that supports the built form.</p> <p>Landscaped front yards with mature vegetation. Leafy garden suburb character and maintaining visual separation between houses.</p>