

#11872943



APPLICATION ON NOTIFICATION – CATEGORY 3

Applicant:	Gemtree Wines Pty Ltd C/- Future Urban
Development Number:	145/L059/20
Nature of Development:	Installation of two mobile self-contained tourist accommodation units
Type of development:	Merit
Zone / Policy Area:	Hills Face Zone
Subject Land:	167 Elliott Road, McLaren Flat
Contact Officer:	Matthew Henderson
Email:	Matthew.henderson2@sa.gov.au
Start Date:	9 July 2020
Close Date:	23 July 2020
During the notification period, hard copies of the application documentation can be viewed at the Department of Planning, Transport and Infrastructure, Level 5, 50 Flinders St, Adelaide, during normal business hours. Application documentation may also be viewed during normal business hours at the local Council office (if identified on the public notice).	

Written representations must be received by the close date (indicated above) and can either be posted, hand-delivered or emailed to the State Commission Assessment Panel.

Any representations received after the close date will not be considered.

Postal Address:

The Secretary
State Commission Assessment Panel
GPO Box 1815
ADELAIDE SA 5001

Street Address:

Development Division
Department of Planning, Transport and Infrastructure
Level 5, 50 Flinders St
ADELAIDE SA 5000

Email Address: scapadmin@sa.gov.au



**PLANNING REPORT
GEMTREE WINES**

INSTALLATION OF TWO (2) MOBILE ECO-CABINS

Prepared for:
GEMTREE WINES PTY LTD

Date:
02/06/2020

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Proprietary Information Statement

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1. INTRODUCTION

The proponent seeks development plan consent to install two (2) mobile eco-cabins on the subject site for use as tourist accommodation.

In reviewing the plans and elevations and assessing the proposed development against what we consider to be the most relevant provisions of the Development Plan, we have formed the opinion that the proposal warrants development plan consent.

The following supporting documents are submitted along with the Planning Statement:

- signed development application form;
- signed electricity declaration form;
- Certificate of Title;
- plans and elevations;
- Bushfire Management Site Plan; and
- Bushfire Management Operational Plan.

2. SITE AND LOCALITY

The subject site is located on the north-western corner of the intersection of McLaren Flat Road and Elliott Road, approximately 1.7 kilometres east of the McLaren Flat township.

The site is legally described as Section 716 in Certificate of Title Volume 5362 Folio 208 and known as 167 Elliott Road, McLaren Flat.

Figure 2.1 *Subject site and locality.*



The allotment has a frontage of 587 metres to McLaren Flat Road and 517 metres to Elliott Road, and an area of approximately 32.45 hectares.

The Gemtree Wines working vineyard and associated cellar door are existing on the land.

In the south-western portion of the land is an area of bush and wetlands. This area was established in 2001 by the land-owners who started Gemtree Wines. It was previously cleared land used for cattle grazing, however over 50,000 native trees and shrubs were planted in order to restore the land to its natural state, improve the biodiversity of the vineyards, contribute to the survival of local native species and ensure ecological balance on the site. This area has now become a haven for native birds, plants and animals. Gemtree Wines have established a publicly accessible “Eco Trail” through this bushland, including a path, rest stations and shelters.

The north-western portion of the site features a cluster of mature trees, but remains mostly cleared of vegetation resulting from historical grazing land uses.

Notable aspects of the locality include:

- numerous wineries and associated vineyards, cellar doors, tasting rooms, sheds and outbuildings; and
- “Bed and Breakfast” types of tourist accommodation.

3. PROPOSAL DESCRIPTION

The proponent is seeking development plan consent to install two (2) cabin-like structures on trailers on the subject land for use as tourist accommodation.

3.1 CABINS

Each cabin is approximately 2.45 metres wide, 6.6 metres in length and 3.85 metres in height, and have a total floor area of approximately 12 square metres.

A maximum of four guests can be accommodated in each cabin, however, as only a king-sized bed and a king-single bed (the day bed) are provided, two guests (i.e. children) would need to sleep on the day bed.

Also provided within each cabin are kitchen, dining, and bathroom facilities and include an instant hot water system, fridge, freezer, microwave, stove, grill, shower and a cartridge toilet.

All cabins are off-grid and solar powered. Each are provided with a 1100 litre water tank and a 400 litre grey water tank.

3.2 OPERATION

The cabins are to be used as tourist accommodation, with bookings made and confirmed on-line on the "Cabn" website (<https://cabn.life/>). There is a two-night minimum stay for all guests.

Once booked, guests are emailed check in instructions. Staff are not required to assist guests with check in onsite.

3.3 OPERATIONAL HOURS

The cabins will be available year-round, aside from days where "extreme" or "catastrophic" fire danger ratings are predicted.

3.4 STAFF NUMBERS

No full-time staff will be required on site. Only cleaners and maintenance staff will need to access the cabins and will do so in-between each visitor's stay.

Offsite, the applicant company, CABN Pty Ltd, employs three full time and seven contracted employees.

3.5 VEHICLE AND PEDESTRIAN MOVEMENTS

Access to the cabin car parking area will be provided from Elliott Road via an existing, un-sealed track.

A single car parking space is to be provided for each cabin and located approximately 300 metres and 250 metres from cabin 1 and 2 respectively.

3.6 WASTE MANAGEMENT

The cabins are based on a "leave no trace" philosophy, whereby all guests are required to leave each cabin exactly as they found it. This includes guests collecting their own general, recycling and organic waste and disposing it off-site after their stay.

Cleaners will also attend to the cabins after each guest's stay and ensure that any leftover waste is taken off-site and disposed of appropriately.

The cabins will be connected to the existing wastewater system on the site.

4. PROCEDURAL MATTERS

4.1 THE RELEVANT AUTHORITY

In accordance with Schedule 10, Clause 3 of the *Development Regulations 2008* (the “Regulations”), as amended, the State Commission Assessment Panel (SCAP) is the relevant authority, as the proposed development involves the construction of a tourist development in an area identified as the Hills Face Zone by the Onkaparinga Council Development Plan.

4.2 THE RELEVANT DEVELOPMENT PLAN

The relevant version of the Onkaparinga Council Development Plan for procedural and assessment purposes was gazetted and subsequently consolidated on the 20 December 2018.

The subject site is located within the Hills Face Zone. It is also located within a Character Preservation District Overlay and a High Bushfire Risk area.

4.3 KIND OF DEVELOPMENT

The proposed development is not listed in the Procedural Matters section of the Hills Face Zone as a kind which is complying or non-complying, and therefore, it must be assessed on its merits.

4.4 CATEGORY OF DEVELOPMENT

Neither the Procedural Matters section of the Hills Face Zone or the Schedule 9 to the Regulations describe the proposed nature of development as a category 1 or category 2 form of development. The development therefore defaults to a Category 3 form of development.

4.5 REFERRALS

In accordance with Schedule 8 to the Regulations, as the proposal is for tourist accommodation in a High Bushfire Risk Area in a Bushfire Protection Area, it requires a referral to the South Australian Country Fire Service.

No other formal referrals are required under Schedule 8.

5. DEVELOPMENT ASSESSMENT

We have had regard to what we consider to be the most relevant provisions of the Onkaparinga Council Development Plan (consolidated version 20 December 2018), and have identified the following as the key planning matters related to the proposed development:

- land use;
- interface between land uses;
- siting;
- design and appearance;
- traffic and car parking; and
- bushfire management.

5.1 LAND USE

Having regard to the objectives and desired character, it is clear that the primary intention for the Hills Face Zone is to ensure that development preserves and enhances or re-establishes the natural character of the area.

The proposed land use will achieve this, as the cabins have been designed to minimise their physical impacts on the landscape and enhance their guest's appreciation of natural environments.

The ethos of "Cabn Life" (the cabin designers and operators) is based on the following principles:

- locally sourced – including the construction materials for the cabins, contractors, and food and wine affiliations;
- sustainability – ensuring that water, energy and waste are all appropriately managed to have as little impact on the environment as possible;
- "Leave No Trace" – the cabins and their guests are to leave the environment around the cabin exactly as they found it;
- detach – guests are encouraged to remove themselves from technology and enjoy the natural environment around them;
- minimalism – the cabins are design to facilitate minimal interruption, for maximum interaction.

As the cabins are fundamentally intended to celebrate and not deteriorate nature environments, it is considered that the proposed development will preserve and enhance the natural character of the locality.

In addition, Objective 1 of the Character Preservation District Overlay and all Objectives of the Tourism Development Module in the General Section are achieved by the proposal, as:

- the innovative and mobile design has a minimal environmental impact which is further assisted by the inclusion of water tanks and photovoltaic panels to each cabin;
- the cabins have been designed and will be operated to enhance the public's appreciation of the significant natural character and culture of the locality;
- the cabins are of a scale which will not be visually intrusive;
- the land use limits the number of guests to ensure that the natural value of the area is protected and a feeling of seclusion is maintained;

- is not located on land where primary production occurs and will value add to the associated land uses existing on the site (Gemtree Wines and the Eco Trail); and
- the cabins will enhance the appeal of the area by offering a different accommodation type to those existing in the immediate and greater locality, increasing opportunities for different types/groups of visitors to stay overnight and visit the many businesses in the region.

The subject land is within an area subject to the Character Preservation (McLaren Vale) Act 2012.

For the purposes of the Act, we say that the present proposal is consistent with and seeks to further the Objects in that it:

- recognises, protects and enhances the special character of the district while at the same time providing for the economic, social and physical well-being of the community;
- has no adverse effects on and does not detract from the special character of the district;
- ensures that genuine agricultural activities will not be prejudiced; and
- makes a positive contribution to the scenic and tourism attributes of the district.

5.2 INTERFACE BETWEEN LAND USES

Interface Between Land Uses PDC 1 in the General Section encourages that development should not detrimentally affect the amenity of the locality by way of:

- the emission of effluent, odour, smoke, fumes, dust or other airborne pollutants;
- noise;
- light spill;
- glare;
- hours of operation; or
- traffic impacts.

The cabins are proposed to be located more than 236 metres from the nearest neighbouring building, which is located to the south west of the subject site. When considering this distance, the topography of the land and the existing vegetation in the locality, it is expected that any potential noise, air emissions and light spill associated with the cabins will be acceptably mitigated. In any case, the low guest capacity for each cabin is anticipated to keep noise levels within the realm of those anticipated for existing and envisaged uses in the locality.

Further, the cabin sites are also adequately separated from existing developments and land uses on neighbouring properties so as to ensure that the cabins will not conflict or limit their continued operation. This satisfies PDC 14, part (a) of the Tourism Development module.

No glare is likely to result from the proposed development, as the external materials have been selected for their low reflectivity and ability to blend in with the natural surroundings.

As discussed in Section 5.5, the proposed development is not anticipated to result in adverse traffic impacts.

In consideration of the above, we believe that the cabins are acceptable as no detrimental impacts on the locality are likely to occur.

5.3 SITING

The Development Plan clearly outlines the importance of maintaining the natural character and appearance of the Hills Face Zone, therefore proposed buildings must be carefully sited to ensure that they do not compete with this existing setting.

The proposed cabins have been discretely located within existing clusters of trees and at a lower point of the land (i.e. well below the ridgeline). They will be separated from the nearest road by more than 284 metres.

In this location, the cabins are considered to be appropriately sited as they will not inhibit any views from/to the hills or visually intrude upon the natural character of the zone. Further, PDC 3 of the Siting and Visibility module in the General section will be achieved.

5.4 DESIGN AND APPEARANCE

The design philosophy for the cabins is one of minimalism, inspired by nature. The proposed design will allow the cabins to blend into their landscape, and complement, rather than compete with, the natural character of the Hills Face Zone.

Specifically, the proposed cabins:

- feature high-quality and durable external materials of earthy tones which have been selected to respect the surrounding natural landscape and withstand the weather elements (Siting and Visibility PDC 5);
- the floor area of 12 square metres, overall height of 3.85 metres and external appearance will not present an unreasonable bulk and/or scale or interrupt views to the Hills (Design and Appearance PDC 1);
- have been designed to be energy and water efficient, and guests will also be encouraged to be conscious of their own usage during their stay (Tourism Development PDC 15);
- installation of the cabins does not require the removal of any native vegetation (Natural Resources PDC 27); and
- will not overload existing infrastructure or services as they generate and utilise their own power, through the inclusion of photovoltaic panels on the roof, and will connect to the existing waste water system on the subject site (Tourism Development PDC 14(b)).

We have formed the opinion that the small scale and particular design of these cabins respects the objectives for the Hills Face Zone.

5.5 TRAFFIC AND CAR PARKING

In relation to the provision of onsite car parking spaces, we have considered the rate envisaged for “tourist accommodation” outlined in Table Onka/3. As no employees will be located on site, we have based our assessment on the car parking rate applicable per bed.

In accordance with this rate, the proposed development generates a demand for 0.6 car parking spaces per cabin. As one car parking space will be provided to each cabin, the envisaged rate is exceeded.

Through their existing operations, CABN Pty Ltd have confirmed that the majority of their bookings are for two guests. This being the case, and in consideration of the two-night stay minimum, it is reasonable to assume that the proposed development will generate very low traffic volumes. These volumes are unlikely to adversely impact the safety or functionality of the adjoining road networks, and therefore should be considered reasonable.

5.6 BUSHFIRE MANAGEMENT

The subject site is located within a High Bushfire Risk area and accordingly, appropriate management strategies need to be established and to ensure that the proposed development, and more importantly, its guests, can be adequately protected in the event of a bushfire.

A Bushfire Management Site Plan and Operational Plan have been prepared for the proposed development and are attached at Appendix 5 and 6 respectively. These plans outline the physical and operational management strategies which aim to minimise the impacts of a bushfire.

Having regard to the Hazards module in the General Section, the proposed cabins will:

- be located on the flatter portions of the land, in natural clearings in the vegetation;
- a water tank of 22,000L will be provided as a dedicated water supply, along with the existing wetlands on the subject site; and
- will be accessible by an existing un-sealed track of 3 metres minimum width, and which;
 - » is not located within close proximity of thick vegetation;
 - » does not require an all-weather crossing;
 - » does not require the clearance of any vegetation to accommodate a vehicle turn-around area; and
 - » provides opportunities for passing bays every 200 metres.

We consider that the proposal achieves the relevant Development Plan provisions in relation to Bushfire Management. The applicant is also prepared to accept a standard condition of consent requiring that a Bushfire Management Plan be prepared in consultation with the CFS, should the relevant authority consider it necessary.

6. CONCLUSION

In our opinion, the proposed development is aligned with the key intentions of the Hills Face Zone through its design, siting and appropriate mitigation of potential impacts.

We consider that the proposal warrants Development Plan Consent.

APPENDIX 1. DEVELOPMENT APPLICATION FORM

DEVELOPMENT APPLICATION FORM

AUTHORITY: STATE COMMISSION ASSESSMENT PANEL

APPLICANT: GEMTREE WINES PTY LTD

Postal Address: C / - FUTURE URBAN PTY LTD
GPO BOX 2403, ADELAIDE, SOUTH AUSTRALIA, 5001

OWNER: AS ABOVE

Postal Address: _____

BUILDER: CABN

Postal Address: _____
 Licence No: _____

CONTACT PERSON FOR FURTHER INFORMATION:

Name: MILLY NOTT
 Telephone: (08) 8221 5511
 Email: MILLY@FUTUREURBAN.COM.AU
 Mobile: 0450 965 858

EXISTING USE:

VINEYARDS, ECO TRAIL, AND TASTING ROOM

FOR OFFICE USE

Development No: _____

Previous Development No: _____

Assessment No: _____

<input type="checkbox"/> Complying	Application forwarded to DA Commission/Council on: _____ / ____ / ____ Decision: _____ Type: _____ Date: _____ / ____ / ____
<input type="checkbox"/> Non-complying	
<input type="checkbox"/> Notification Cat 2	
<input type="checkbox"/> Notification Cat 3	
<input type="checkbox"/> Referrals/Concurrence	
<input type="checkbox"/> DA Commission	

	Decision	Fees	Receipt No	Date
Planning:	YES			
Building:				
Land Division:				
Additional:				
Dev Approval:				

DESCRIPTION OF PROPOSED DEVELOPMENT: INSTALLATION OF TWO (2) MOBILE ECO-CABINS

LOCATION OF PROPOSED DEVELOPMENT:

House No: 167 Lot No: _____ Road: ELLIOTT ROAD Town/Suburb: MCLAREN FLAT
 Section No (full/part): 716 Hundred: WILLUNGA Volume: 5362 Folio: 208

DOES EITHER SCHEDULE 21 OR 22 OF THE *DEVELOPMENT REGULATIONS 2008* APPLY? YES: NO:

HAS THE *CONSTRUCTION INDUSTRY TRAINING FUND ACT 1993 LEVY* BEEN PAID? YES: NO:

DEVELOPMENT COST (Do not include any fit-out costs): \$4,900.00

I acknowledge that copies of this development application and any supporting documentation may be provided to interested persons in accordance with the *Development Regulations 2008*.

SIGNATURE: 

Dated: 2 JUNE 2020

ON BEHALF OF GEMTREE WINES PTY LTD

APPENDIX 2. ELECTRICITY DECLARATION FORM

DEVELOPMENT REGULATIONS 2008

**Form of Declaration
(Schedule 5, Clause 2A)**

To: State Commission Assessment Panel
From: Gemtree Wines Pty Ltd C/- Future Urban Pty Ltd
Date of Application: 2 June 2020

Location of Proposed Development:

House Number:	167	Lot Number:	
Street:	Elliott Road	Town/Suburb:	McLaren Flat
Section No (full/part):	716	Hundred:	Willunga
Volume:	5362	Folio:	208

Nature of Proposed Development:

Installation of two (2) mobile eco-cabins.

I, Milly Nott, in my capacity as a representative of the Applicant, declare that the proposed development will involve the construction of a building which would, if constructed in accordance with the accompanying drawings, not be contrary to the regulations prescribed for the purposes of Section 86 of the *Electricity Act 1996*.

I make this declaration under Clause 2A(1) of Schedule 5 of the *Development Regulations 2008*.

2 June 2020



Date

Signed

APPENDIX 3. CERTIFICATE OF TITLE



Title Register Search

LANDS TITLES OFFICE, ADELAIDE

For a Certificate of Title issued pursuant to the Real Property Act 1886

REGISTER SEARCH OF CERTIFICATE OF TITLE * VOLUME 5362 FOLIO 208 *

COST : \$26.50 (GST exempt)	PARENT TITLE : CT 3181/107
REGION : EMAIL	AUTHORITY : CONVERTED TITLE
AGENT : CGCO BOX NO : 254	DATE OF ISSUE : 17/09/1996
SEARCHED ON : 01/08/2014 AT : 10:26:43	EDITION : 7
CLIENT REF 1975V	

REGISTERED PROPRIETOR IN FEE SIMPLE

GEMTREE VINEYARDS PTY. LTD. OF 184 MAIN ROAD MCLAREN VALE SA 5171

DESCRIPTION OF LAND

SECTION 716
HUNDRED OF WILLUNGA
IN THE AREA NAMED MCLAREN FLAT

EASEMENTS

NIL

SCHEDULE OF ENDORSEMENTS

9043842 AGREEMENT UNDER DEVELOPMENT ACT, 1993 PURSUANT TO SECTION 57(2)
11920119 MORTGAGE TO COMMONWEALTH BANK OF AUSTRALIA

NOTATIONS

DOCUMENTS AFFECTING THIS TITLE

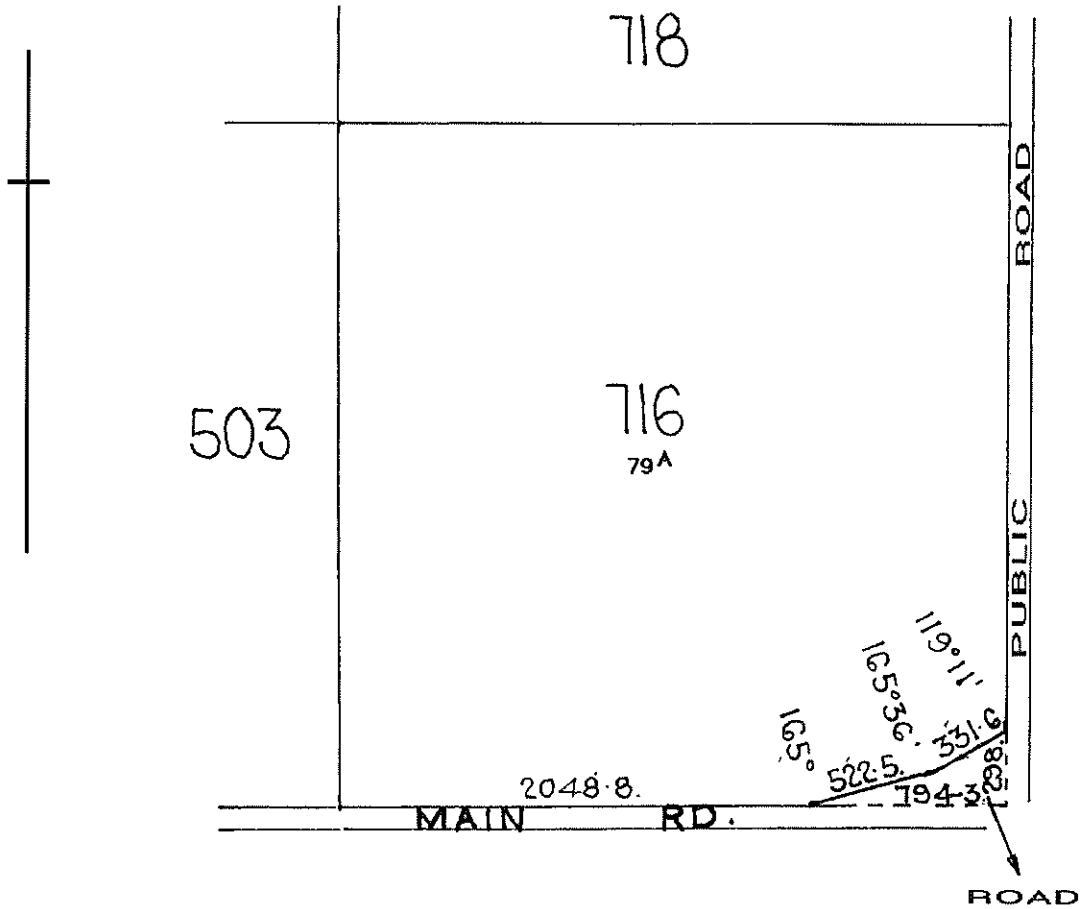
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REGISTRAR-GENERAL'S NOTES

NIL

END OF TEXT.



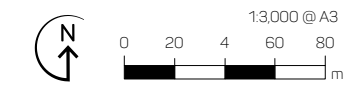


FOR METRIC CONVERSIONS	
1 LINK	= 0.201168 METRES
1 CHAIN	= 100 LINKS
1 ACRE	= 0.404686 HECTARES
1 ROOD	= 1011.7 m ²
1 PERCH	= 25.29 m ²

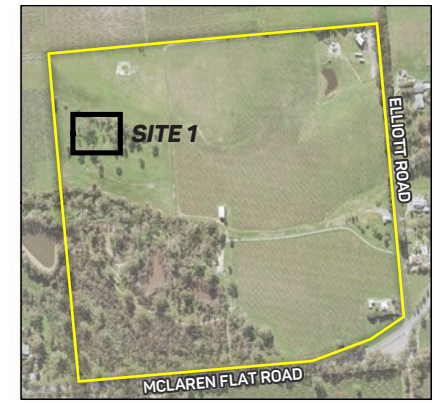
APPENDIX 4. PLANS AND ELEVATIONS



- LEGEND**
- SUBJECT LAND
 - "CABN" BUILT FORM
 - EXISTING VEHICLE TRACK
 - PROPOSED PEDESTRIAN ACCESS TRAIL
 - CAR PARKING
 - CONTOURS
 - ↔ 30m KEY SEPARATION DISTANCES
 - ZONE BOUNDARY



SITE & CONTOUR PLAN
 167 ELLIOTT ROAD,
 MCLAREN FLAT
 REF: 0745-001 27/01/2020



LEGEND

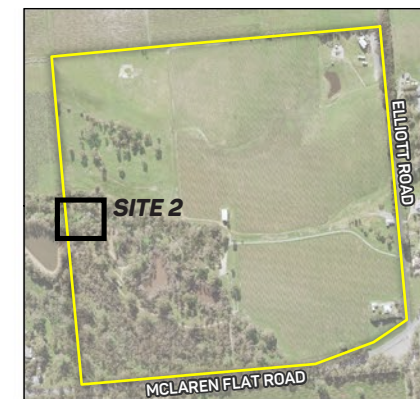
- "CABN" BUILT FORM
- PROPOSED PEDESTRIAN ACCESS TRAIL
- 0.8m DISTANCE FROM NEARBY TREES
- CONTOURS








SITE 1

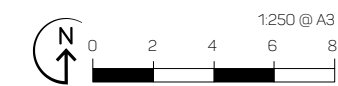
167 ELLIOTT ROAD,
MCLAREN FLAT

REF: 0745-002 27/01/2020



LEGEND

-  "CABN" BUILT FORM
-  PROPOSED PEDESTRIAN ACCESS TRAIL
-  22m DISTANCE FROM SITE BOUNDARY
-  2.0m DISTANCE FROM NEARBY TREES
-  CONTOURS



SITE 2

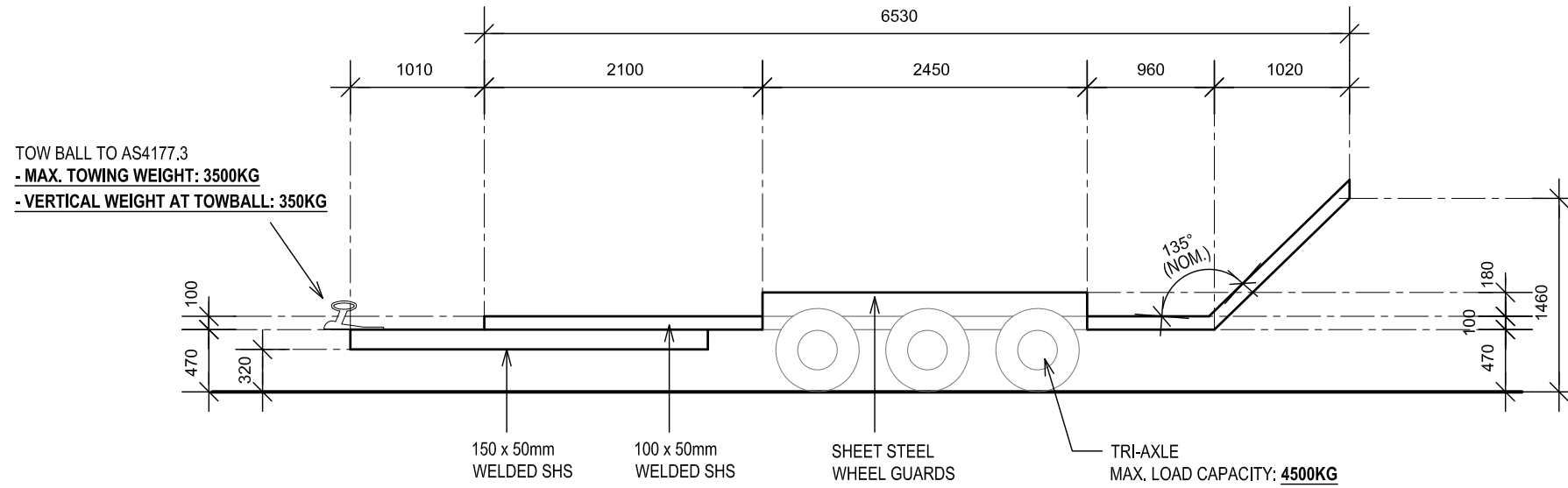
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REF: 0745-003

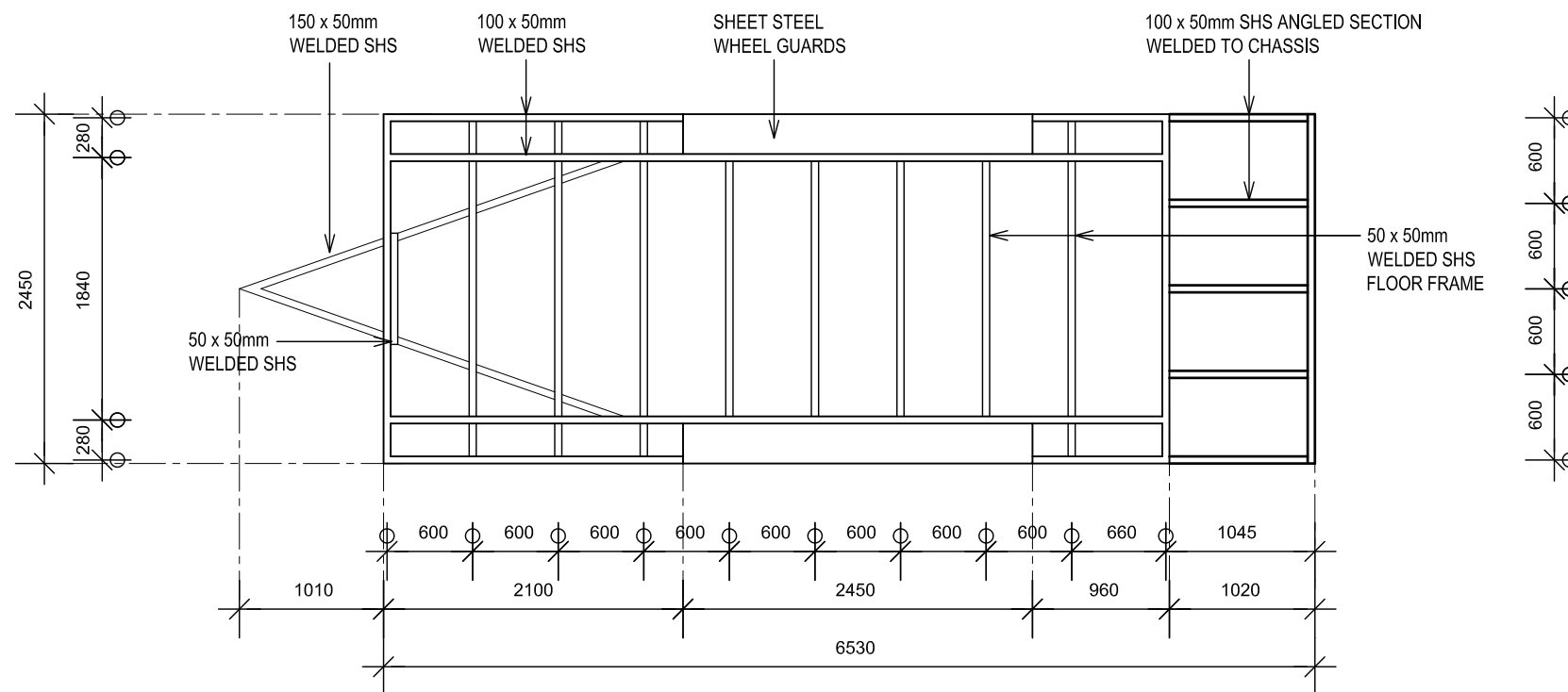
27/01/2020



W: GRAPHICA.NET.AU
E: MATT@GRAPHICA.NET.AU
P: 0412 079 907



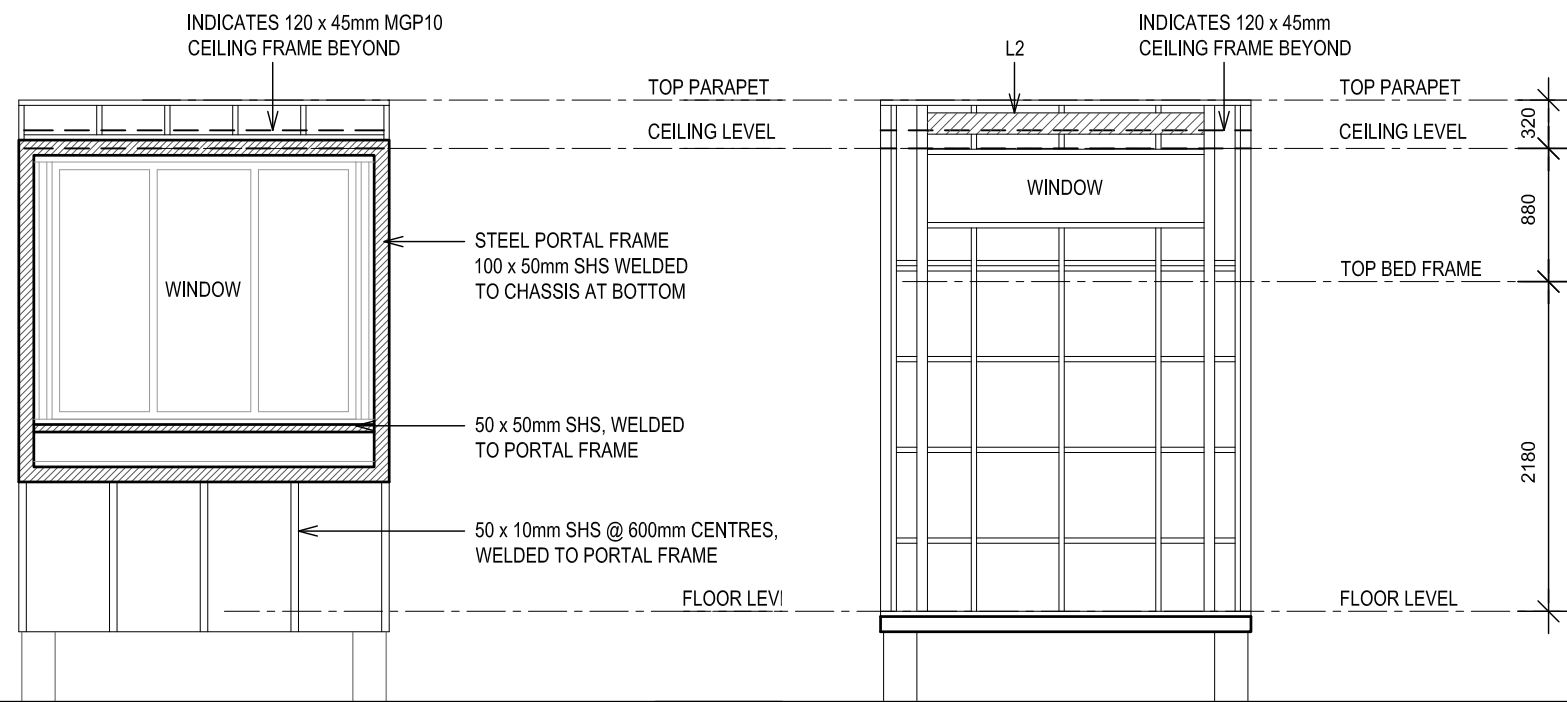
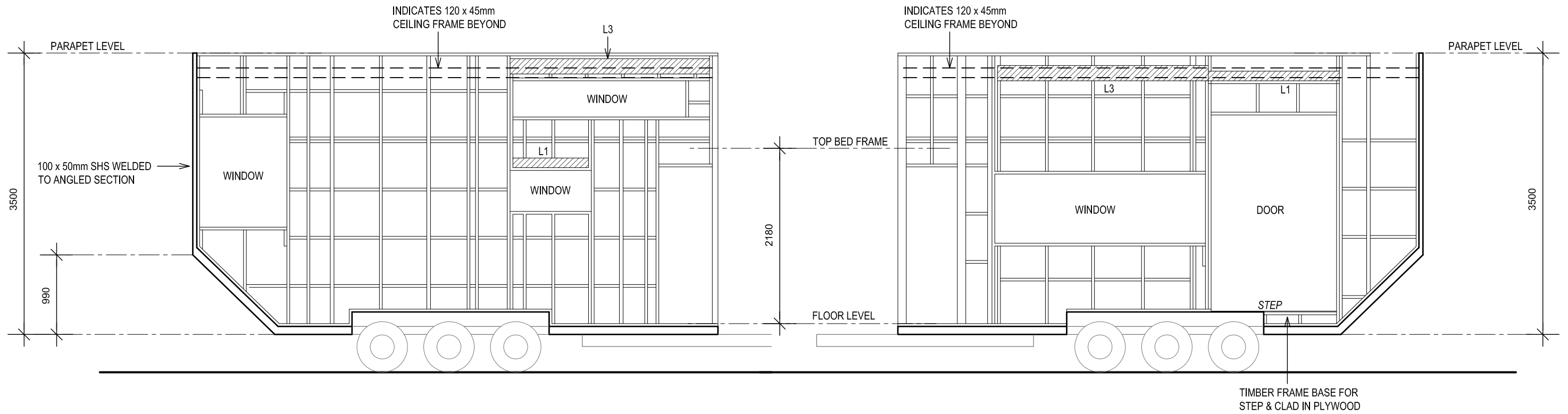
CHASSIS ELEVATION
 1:50



CHASSIS FRAMING
 1:50

CHASSIS FRAMING NOTES

1. **ALL DIMENSIONS ARE NOMINAL ONLY**
 CONFIRM ON SITE ALL DIMENSIONS WITH ANY RELEVANT CONTRACTORS/ENGINEERS



LINTEL LEGEND

- L1 = 120 x 45mm LINTEL
- L2 = 140 x 45mm LINTEL
- L3 = 190 x 45mm LINTEL

WALL FRAMING NOTES:

- WALL FRAMING IN 70x35mm MGP10 TIMBER
- DOUBLE STUDS AT EVERY OPENING
- 70x45mm MGP10 TIMBER STUDS AT EVERY 1200mm (FOR FIXING CLADDING)

BED FRAMING NOTES:

- BED FRAMING IN 70 x 45mm MGP10 TIMBER FRAMING
- BED FRAMING FIXED TO 70 x 45mm WALL PLATE

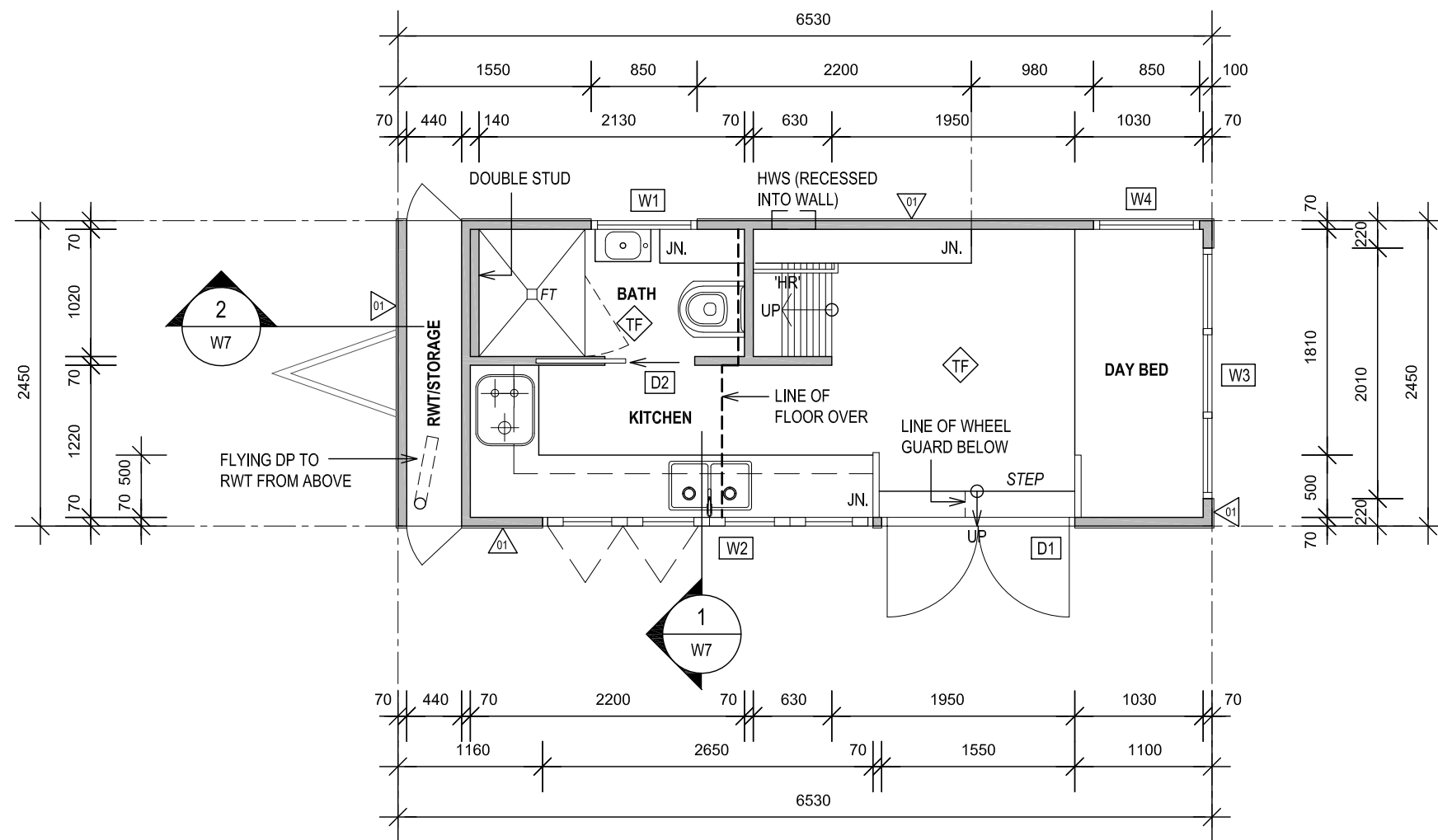
ROOF FRAMING NOTES:

- CEILING JOISTS IN 120 x 45mm MGP10 TIMBER FRAMING NAILED TO 120 x 45mm MGP10 TIMBER WALL PLATE
- PURLINS TO BE 90 x 45mm MGP10 TIMBER & SOLDIERED UP WITH 90 x 45mm MGP10 TIMBER

FRAMING ELEVATIONS

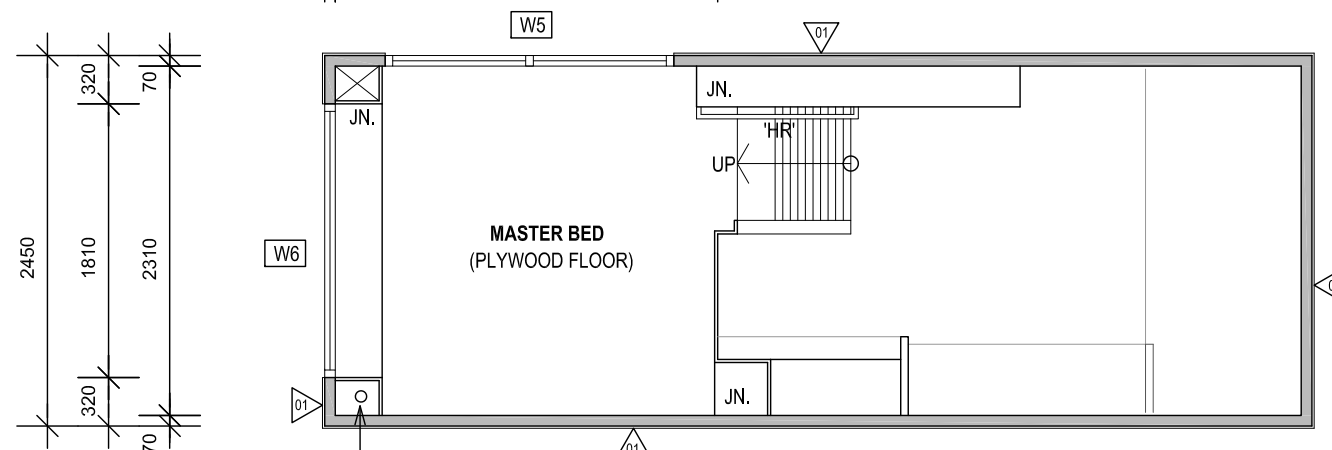
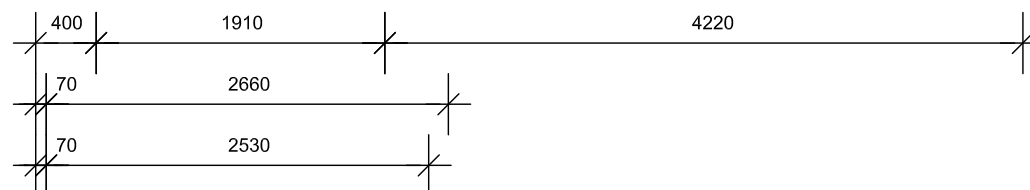
1:50





FLOOR PLAN (LOW)

1:50

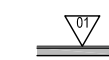


DP FROM ABOVE,
RUNS INSIDE JOINERY

FLOOR PLAN (HIGH)

1:50

WALL TYPES LEGEND



WALL TYPE 01

70 x 35mm MGP10 TIMBER STUD FRAMING @ 600 CENTRES
(70 x 45mm MGP10 TIMBER STUDS @ EVERY 1200mm FOR FIXING CLADDING)
12mm SHADOWCLAD 'NATURAL' TEXTURE GROOVE CLADDING EXTERNALLY, OIL FINISH
9.5mm MARINE GRADE PLYWOOD INTERNALLY, OIL FINISH



INTERNAL STUD WALLS

70 x 35mm MGP10 TIMBER STUD FRAMING
9.5mm MARINE GRADE PLY BOTH SIDES, OIL FINISH

FLOOR TYPE

9.5mm MARINE PLYWOOD FLOOR THROUGHOUT
- SHOWER TO HAVE SHOWER BAY

FLOOR PLAN LEGEND

HWS INSTANTANEOUS HOT WATER SERVICE

JN. JOINERY ITEM

DP DOWNPIPE - REFER TO ROOF PLAN

'HR' TIMBER HANDRAIL, CONFIRM ON SITE

FLOOR FINISHES



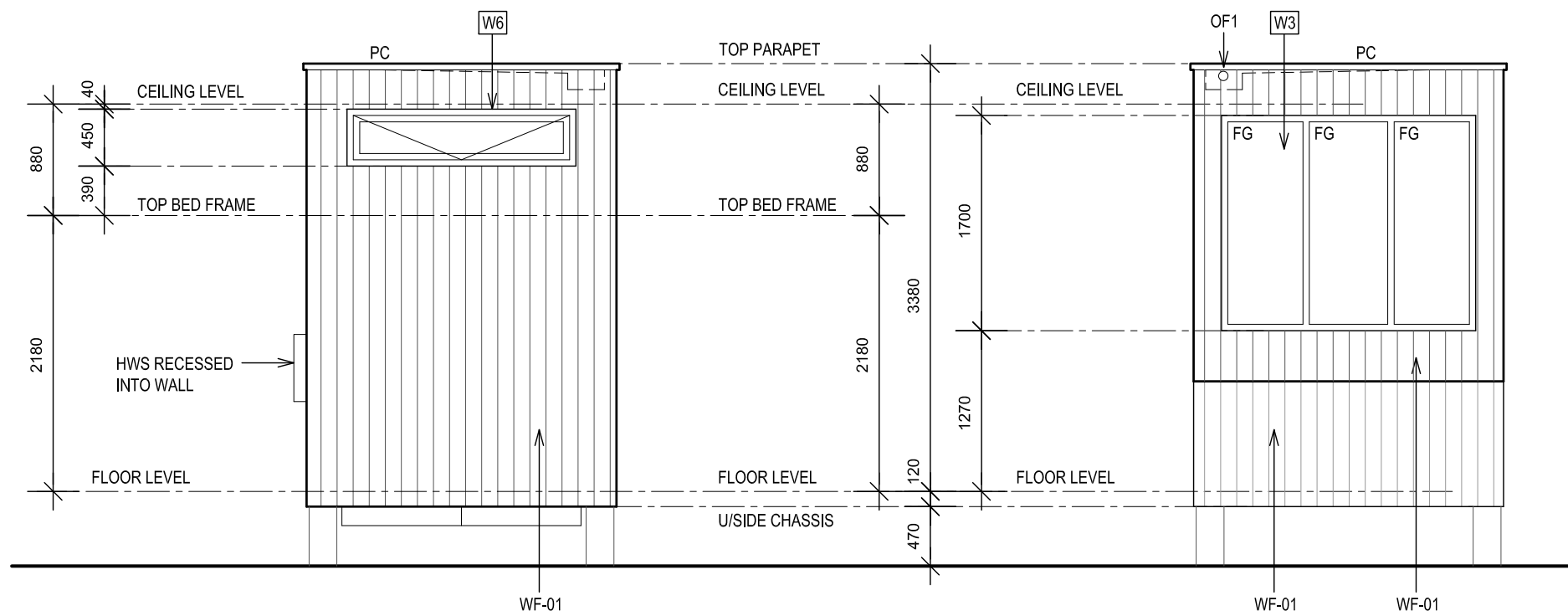
TF = 9.5mm MARINE PLY FLOOR THROUGHOUT, TO MATCH WALL FINISH

FLOOR PLAN NOTES

- WET AREAS**
CLASS 3, FULL FLOOR WATERPROOFING TO ALL WET AREA FLOORS. ALL WATERPROOFING IN ACCORDANCE WITH AS3740(2010)
- JOINERY, FITTINGS & FIXTURES**
COORDINATE ALL JOINERY DETAILS PRIOR TO CONSTRUCTION
- KITCHEN**
PROVIDE STAINLESS STEEL OR TILED SURROUND AROUND COOKTOP

WALL TYPES NOTES

- PROVIDE NOGGINGS/FRAMING TO SUIT ALL FIXTURES & FITTINGS INCLUDING BUT NOT LIMITED TO; DOORS, WINDOWS, BATH FITTINGS, LIGHTS, JOINERY ETC.

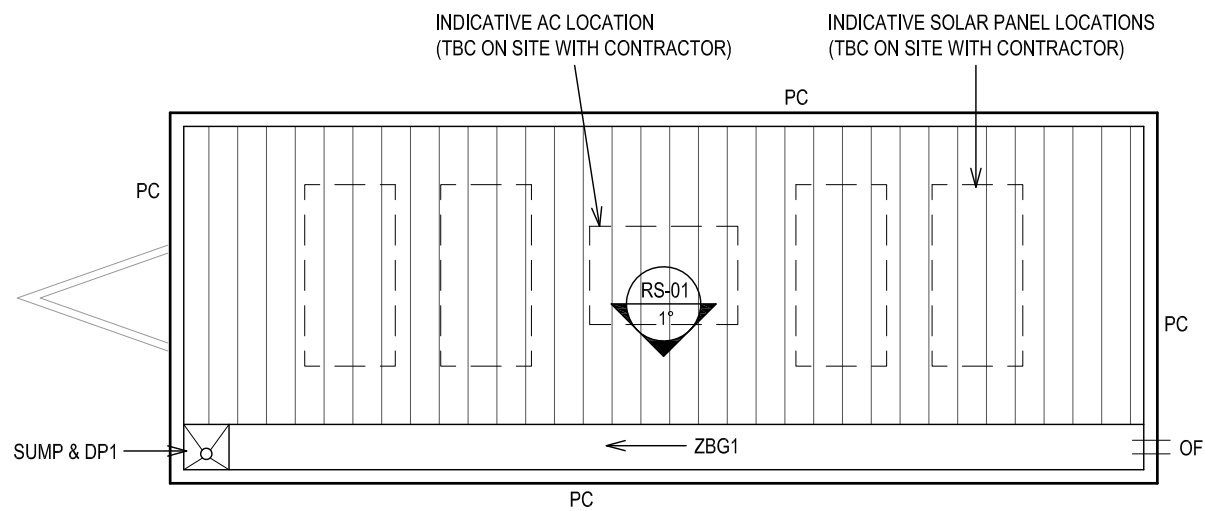


ELEVATION FRONT
1:50

ELEVATION BACK
1:50

ELEVATION LEGEND

- WF-01 WALL FINISH TYPE 01, 12mm SHADOWCLAD 'NATURAL' TEXTURE GROOVE, OIL FINISH
- PC PARAPET CAPPING - ZINCALUME, PAINT FINISH
- FG. FIXED GLAZING
- OF1 OVERFLOW POP



ROOF PLAN
1:50

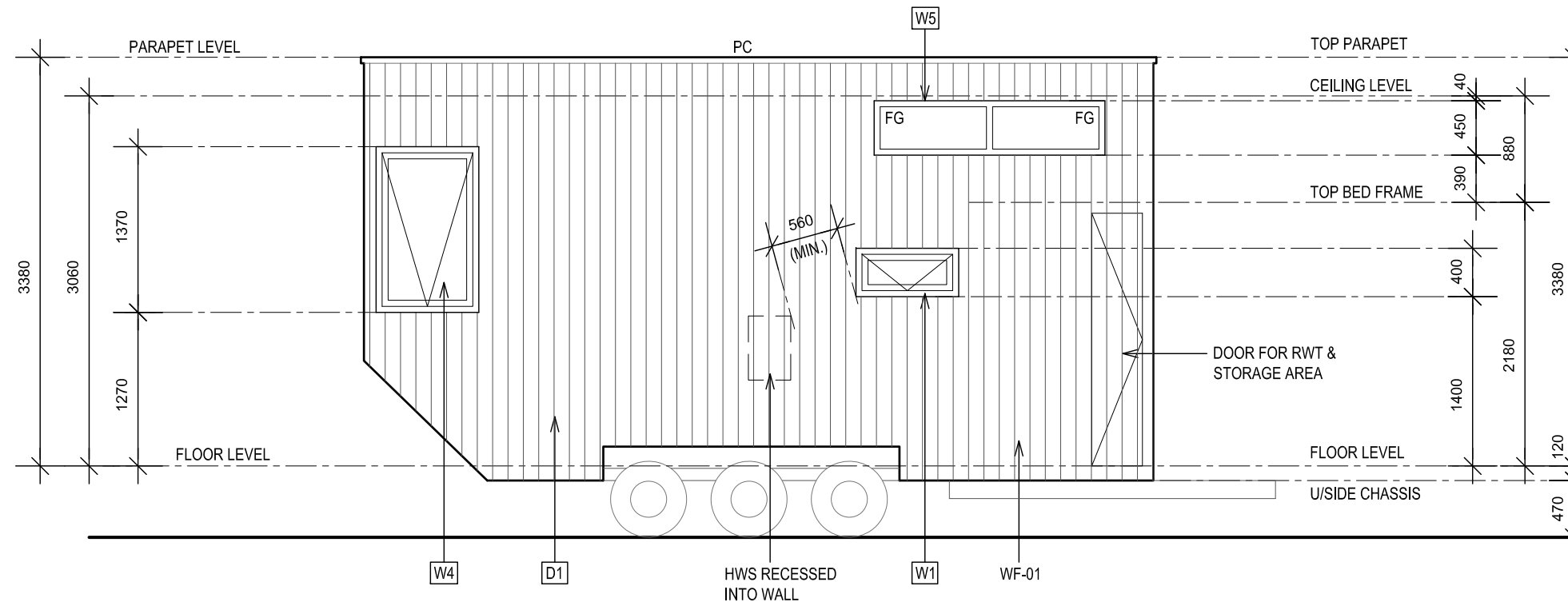
ROOF PLAN LEGEND

- RS-01 METAL ROOF SHEETING TYPE-01 STRATCO 'PRODEK' ROOF SHEETING, 1° PITCH
- ZBG1 300 x 80mm MIN. ZINCALUME BOX GUTTER ON 19mm STRUCTAFLOOR, 1:180 MIN. FALL
- SUMP 300 x 300 x 50mm SUMP
- DP1 75Ø uPVC DOWNPIPE, PAINT FINISH PLUMBED DIRECTLY TO RAINWATER TANK
- OF1 75Ø uPVC OVERFLOW POP, PAINT FINISH
- PC PARAPET CAPPING, ZINCALUME - PAINT FINISH

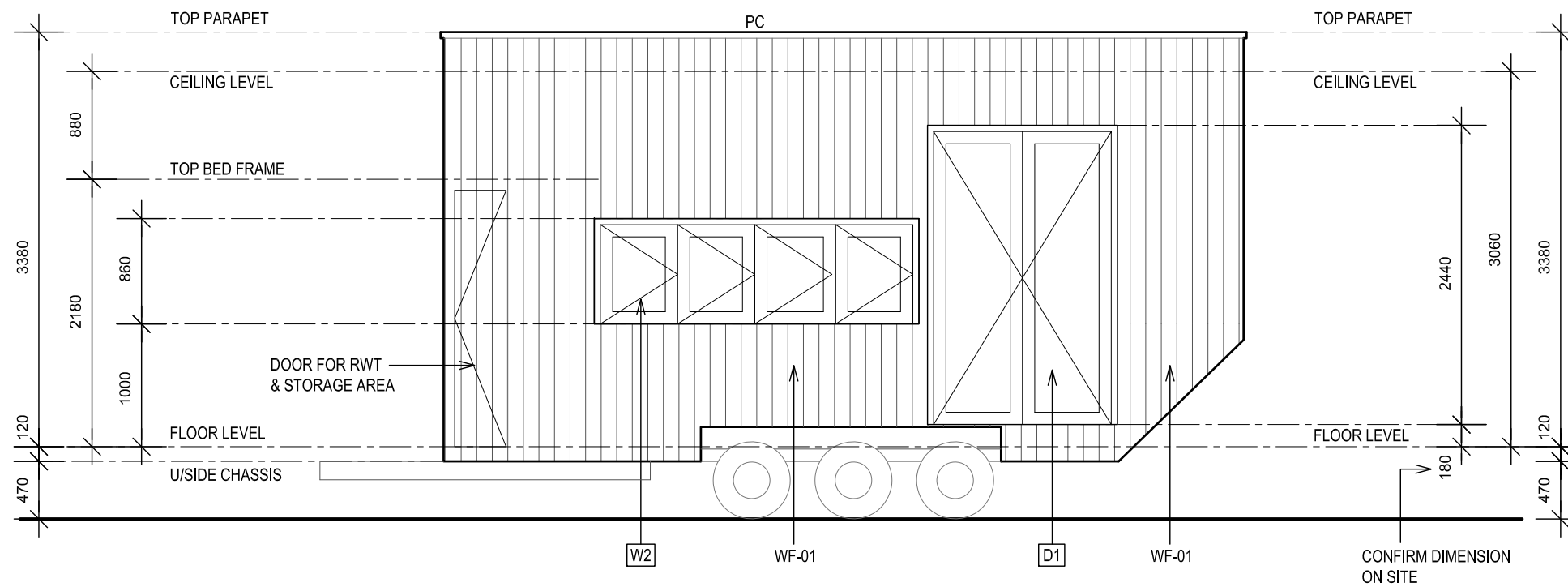
ROOF PLAN NOTES

1. ALL NEW ROOF DECKING TO BE INSTALLED ON SISALATION
2. ALL DOWNPIPES CONNECTED DIRECTLY TO RAINWATER TANK
3. REFER ALSO DETAILED DRAWINGS FOR FLASHING & OTHER DETAILS
4. PROVIDE POLE PLATE FLASHINGS TO BOX GUTTERS, TYPICAL

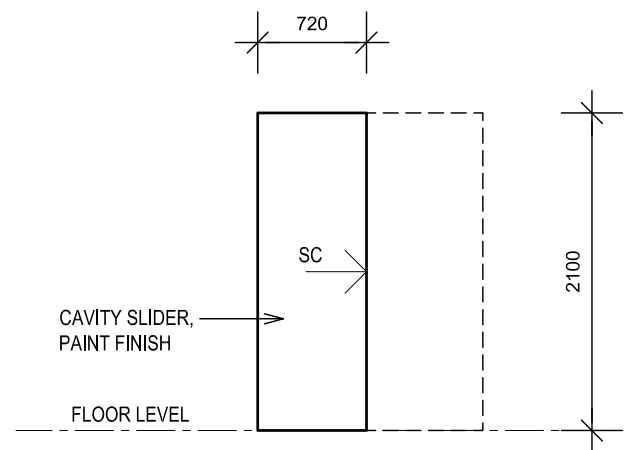
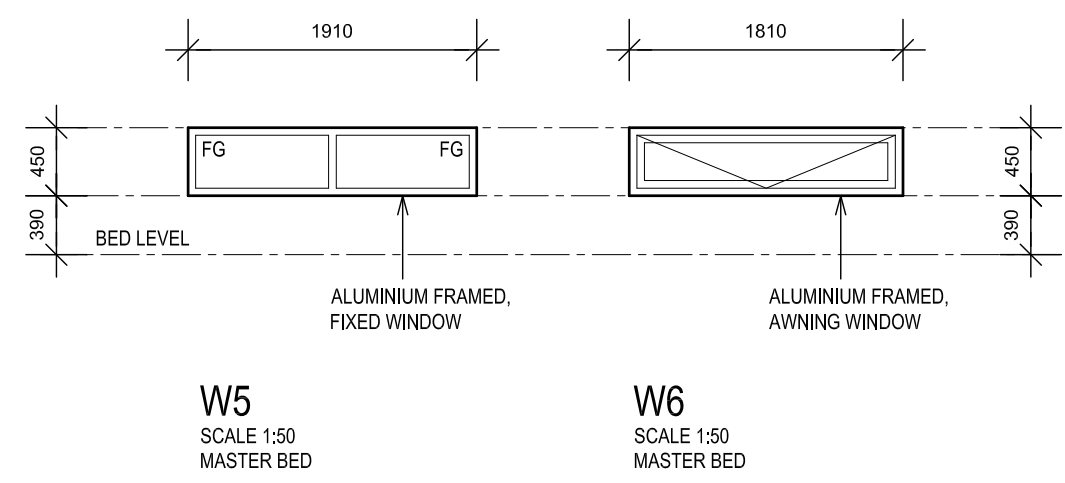
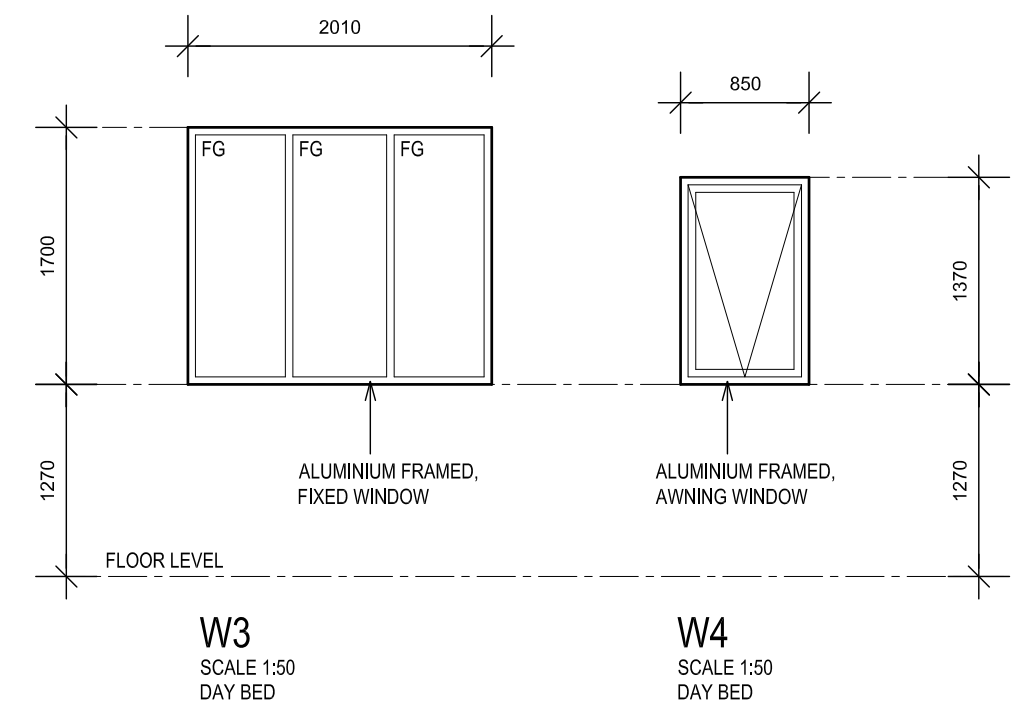
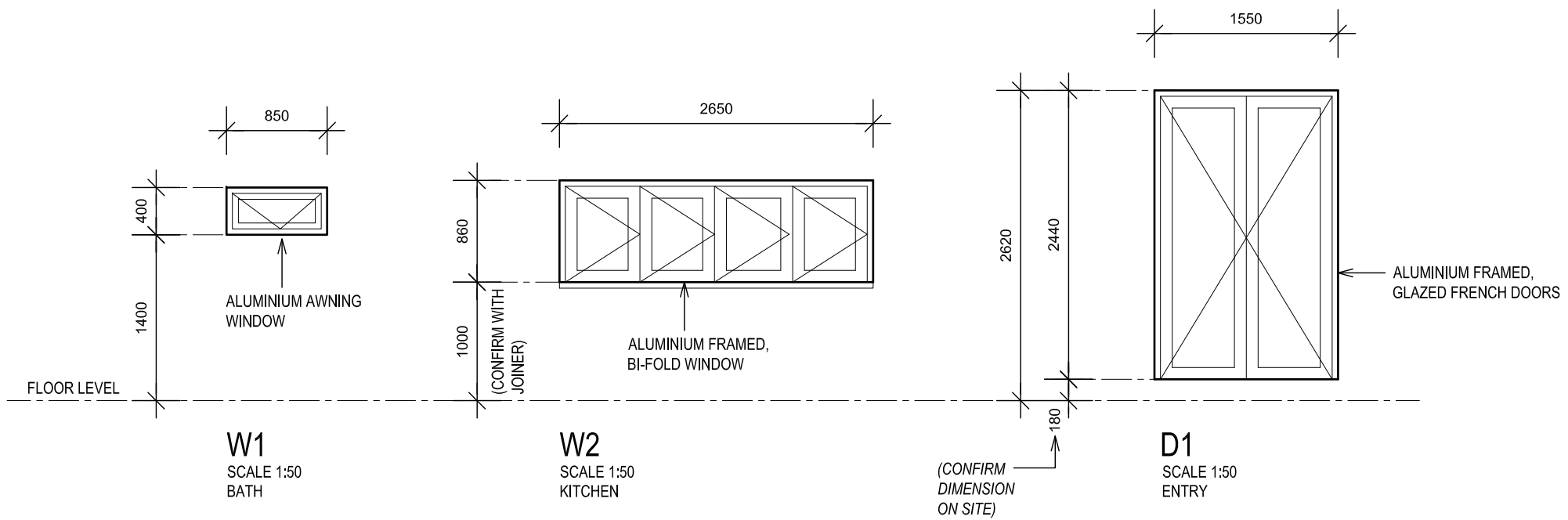




ELEVATION SIDE
1:50



ELEVATION SIDE
1:50



DOOR & WINDOW ELEVATIONS LEGEND

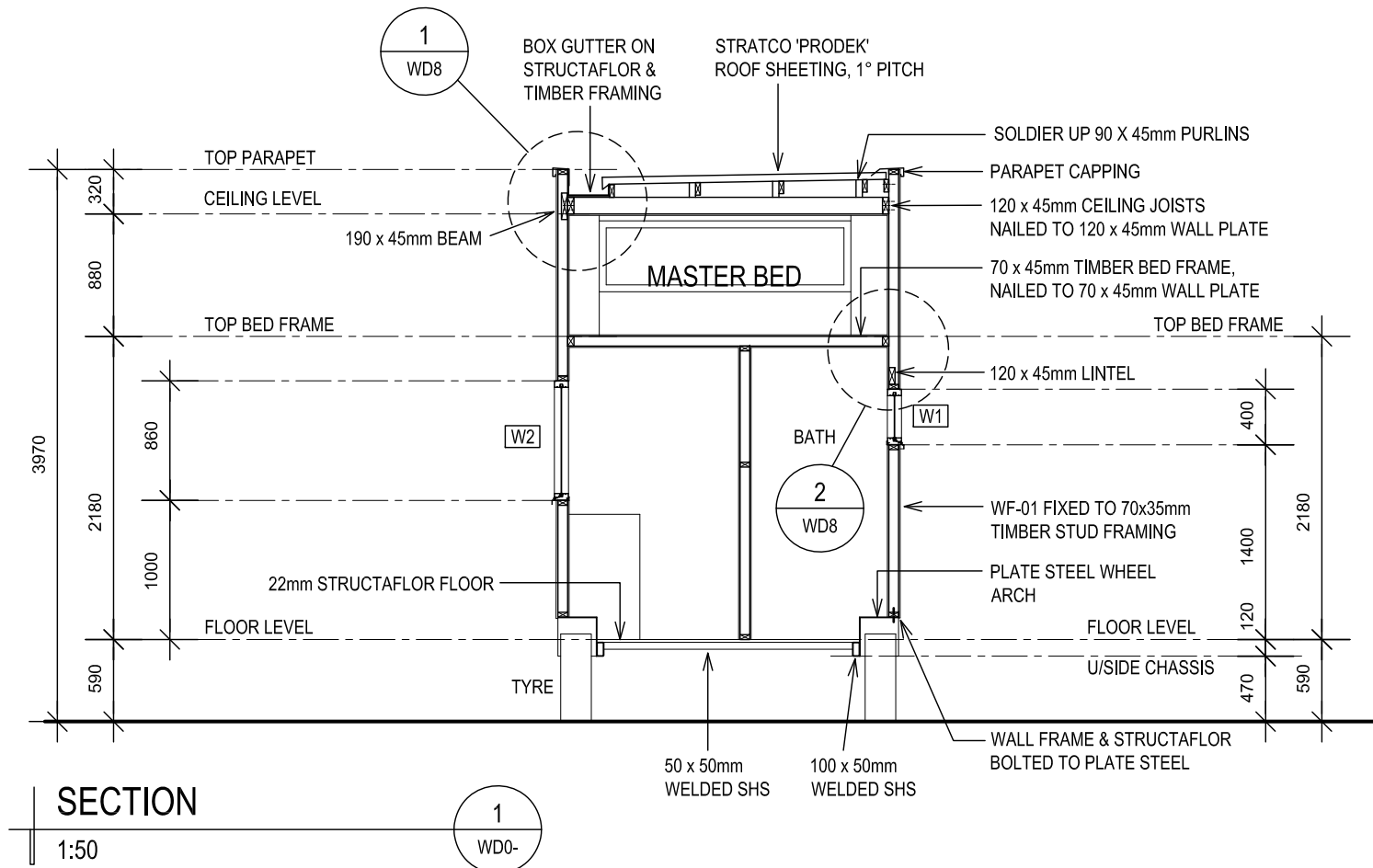
- FG. FIXED GLAZING
- SC SOLID CORE DOOR - PAINT FINISH

DOOR & WINDOW ELEVATIONS NOTES

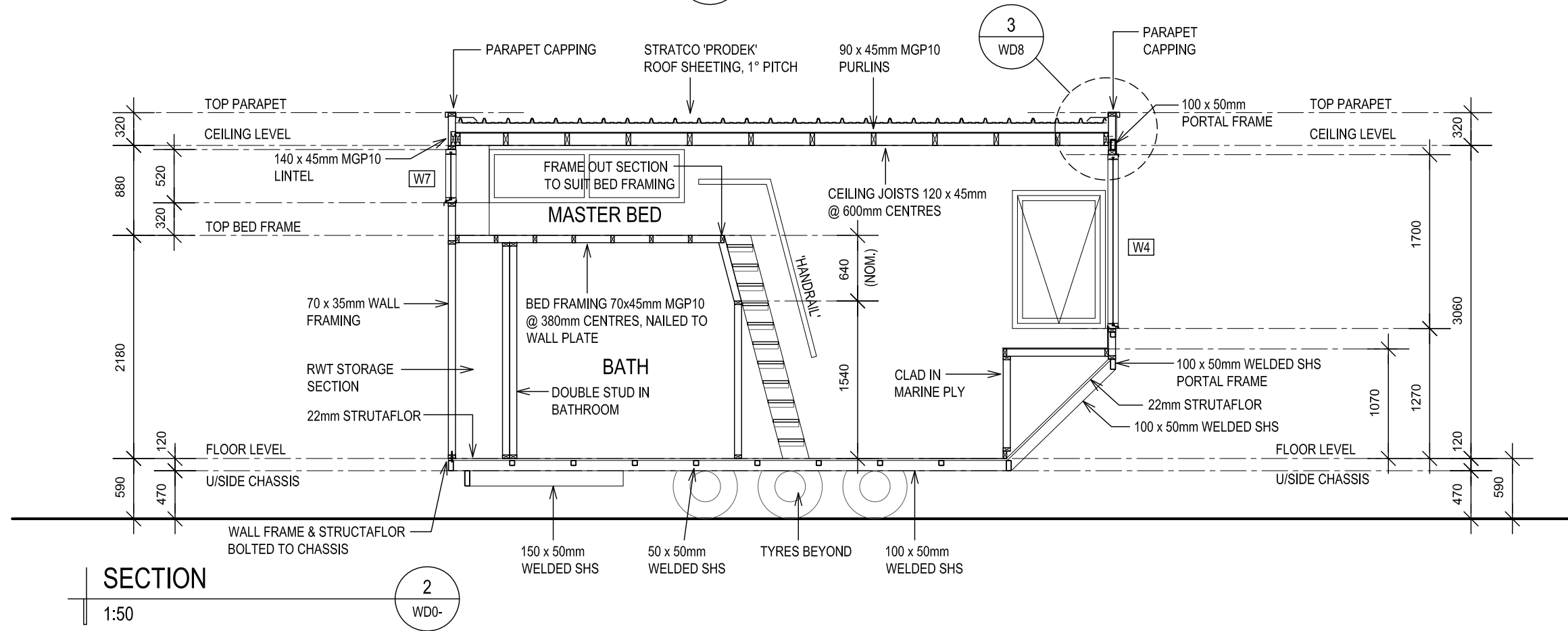
1. ALL EXTERNAL WINDOW & DOOR FRAMES BLACK **ANODIZED** FINISH
2. CONFIRM ALL HARDWARE DETAILS WITH CLIENT PRIOR TO ORDERING
3. CLIENT TO CONFIRM AND ORDER ALL WINDOW & DOOR SELECTIONS
4. ALL GLAZED ASSEMBLIES TO AS/NZS 2080:1995 (SAFETY GLASS FOR LAND VEHICLES)
5. ALL DIMENSIONS ARE NOMINALLY ONLY. CONFIRM ALL DIMENSIONS ON SITE

NOTE: FLOOR LEVEL IS MEASURED FROM TOP OF STRUCTAFLOOR FLOORING



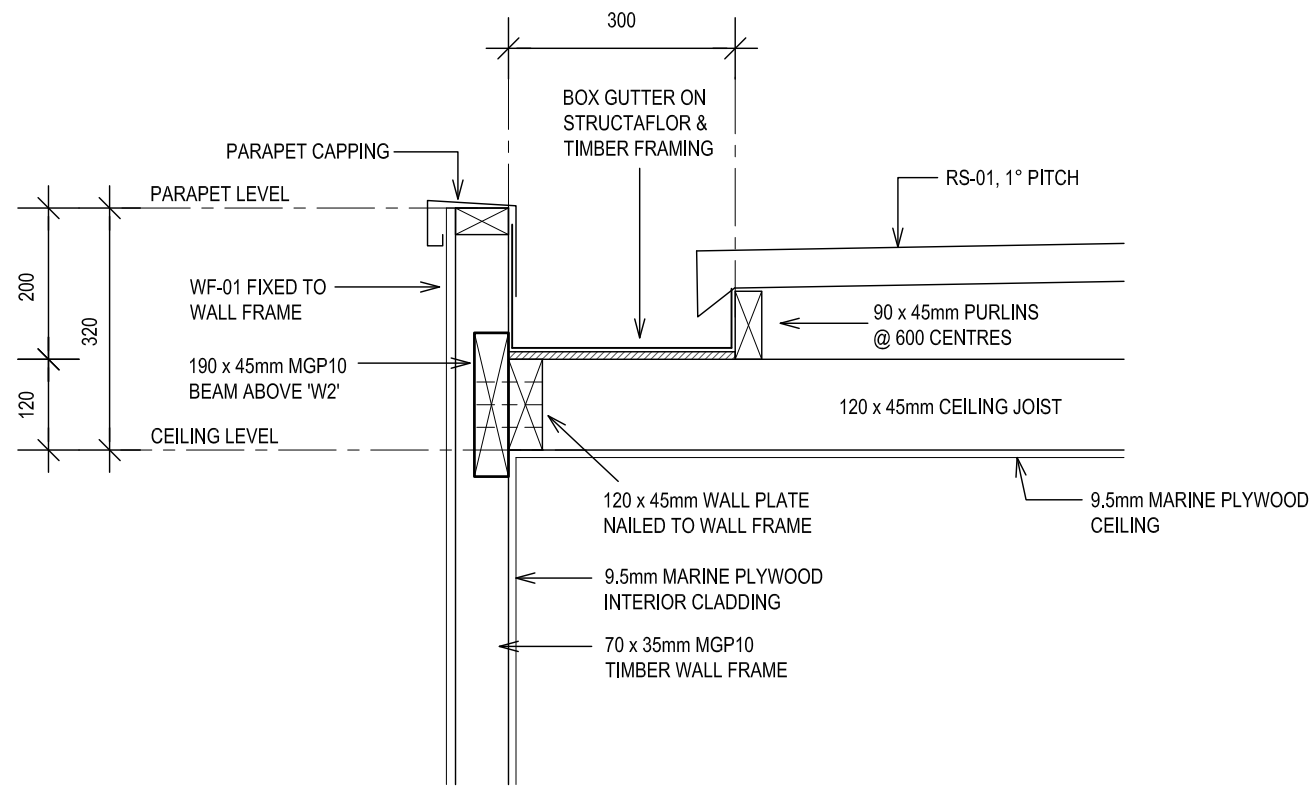


SECTION 1
1:50

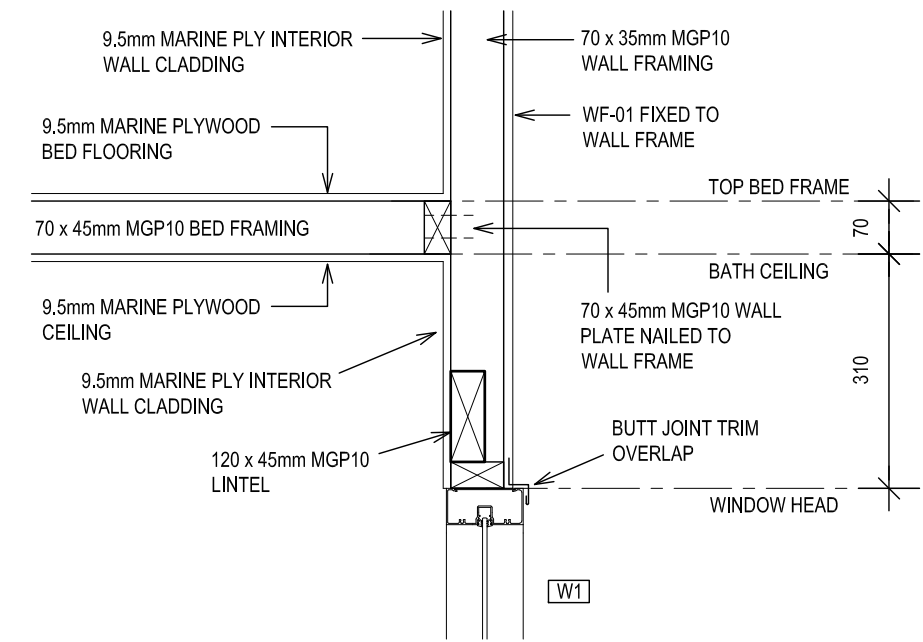


SECTION 2
1:50

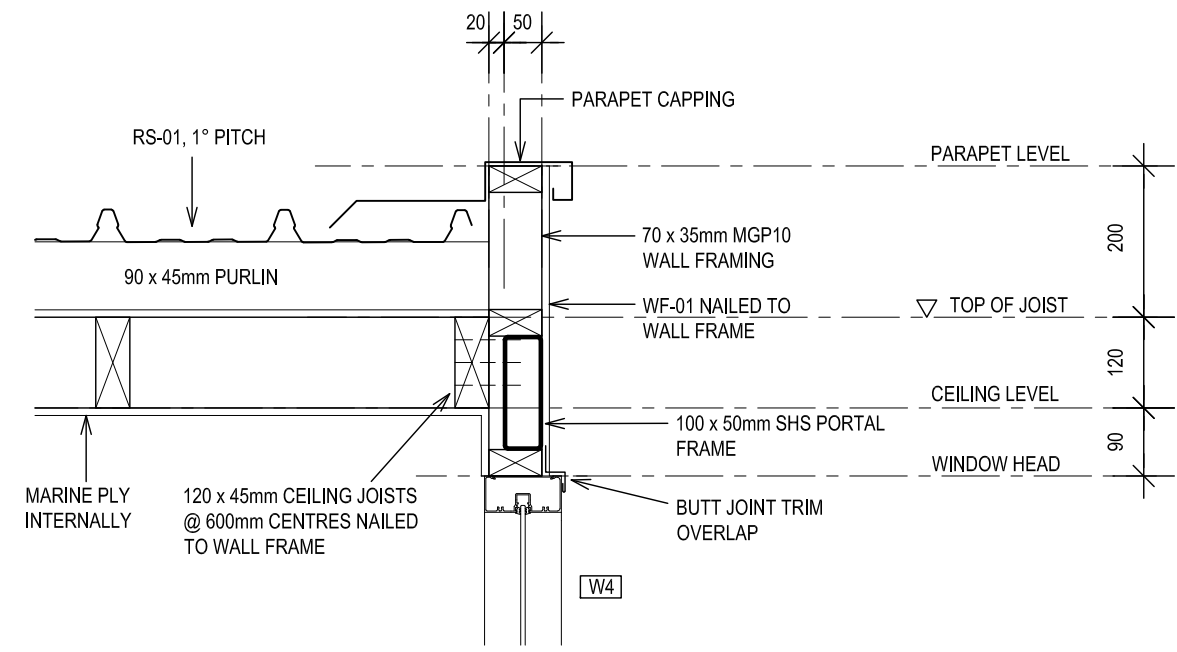




SECTION DETAIL 1
1:10 W7



SECTION DETAIL 2
1:10 WD7



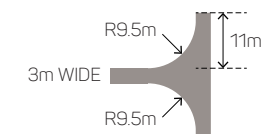
SECTION DETAIL 3
1:10 WD7

**APPENDIX 5. BUSHFIRE MANAGEMENT
SITE PLAN**

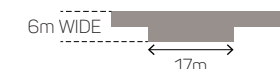


BUSHFIRE MANAGEMENT

T-SHAPED TURNING AREA



PASSING BAY



CFS ACCESS TRACK

- 3m FORMED WIDTH
- GRADIENT OF NOT MORE THAN 16 DEGREES

- 22,000L DEDICATED BUSHFIRE WATER TANK

LEGEND

- SUBJECT LAND
- "CABN" BUILT FORM
- PROPOSED CFS ACCESS TRACK
- PROPOSED PEDESTRIAN ACCESS TRAIL
- CONTOURS
- EXISTING DAM



BUSHFIRE MANAGEMENT PLAN

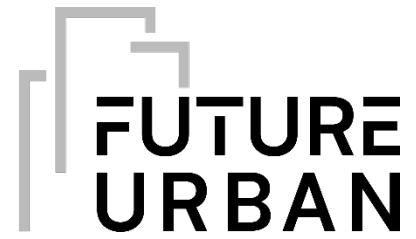
167 ELLIOTT ROAD,
MCLAREN FLAT

REF: 0745-004 13.02.2020



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E: MATT@GRAPHICA.NET.AU
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**APPENDIX 6. BUSHFIRE MANAGEMENT
OPERATIONAL PLAN**



**BUSHFIRE MANAGEMENT
OPERATIONAL PLAN
167 ELLIOTT ROAD, MCLAREN FLAT**

INSTALLATION OF TWO (2) MOBILE ECO-CABINS

Prepared for:
GEMTREE WINES PTY LTD

Date:
02/06/2020

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Document Control

Revision	Description	Author	Date
V1	Final	MN	02/06/2020

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1. INTRODUCTION

The proponent is seeking development plan consent to install two (2) mobile eco-cabins on the subject site.

The subject site is within a High Bushfire Risk area, and as such, bushfire management strategies have been considered during design development to ensure that the effects of any bushfire event on the proposed development can be appropriately managed and minimised.

2. PROPOSAL DESCRIPTION

The proponent is seeking development plan consent to install two (2) eco-cabin-like structures on trailers on the subject land for use as tourist accommodation.

2.1 CABINS

Each cabin is approximately 2.45 metres wide, 6.6 metres in length and 3.85 metres in height, and have a total floor area of approximately 12 square metres.

A maximum of four guests can be accommodated in each cabin, however, as only a king-sized bed and a king-single bed (the day bed) are provided, two guests (i.e. children) would need to sleep on the day bed.

Also provided within each cabin are kitchen, dining, and bathroom facilities and include an instant hot water system, fridge, freezer, microwave, stove, grill, shower and a cartridge toilet.

All cabins are off-grid and solar powered. Each are provided with a 1100 litre water tank and a 400 litre grey water tank.

2.2 OPERATION

The cabins are to be used as tourist accommodation, with bookings made and confirmed on-line on the "Cabn" website (<https://cabn.life/>). There is a two-night minimum stay for all guests.

Once booked, guests are emailed check in instructions. Staff are not required to assist guests with check in onsite.

2.3 OPERATIONAL HOURS

The cabins will be available year-round, aside from days where "extreme" or "catastrophic" fire danger ratings are predicted.

2.4 STAFF NUMBERS

No full-time staff will be required on site. Only cleaners and maintenance staff will need to access the cabins and will do so in-between each visitor's stay.

Offsite, the applicant company, CABN Pty Ltd, employs three full time and seven contracted employees.

2.5 VEHICLE AND PEDESTRIAN MOVEMENTS

Access to the cabin car parking area will be provided from Elliott Road via an existing, un-sealed track.

A single car parking space is to be provided for each cabin and located approximately 300 metres and 250 metres from cabin 1 and 2 respectively.

2.6 WASTE MANAGEMENT

The cabins are based on a “leave no trace” philosophy, whereby all guests are required to leave each cabin exactly as they found it. This includes guests collecting their own general, recycling and organic waste and disposing it off-site after their stay.

Cleaners will also attend to the cabins after each guest’s stay and ensure that any leftover waste is taken off-site and disposed of appropriately.

The cabins will be connected to the existing wastewater system on the site.

3. SITE AND LOCALITY

The subject site is located on the north-western corner of the intersection of McLaren Flat Road and Elliott Road, approximately 1.7 kilometres east of the McLaren Flat township.

The site is legally described as Section 716 in Certificate of Title Volume 5362 Folio 208 and known as 167 Elliott Road, McLaren Flat.

Figure 3.1 *Subject site and locality.*



The allotment has a frontage of 587 metres to McLaren Flat Road and 517 metres to Elliott Road, and an area of approximately 32.45 hectares.

The Gemtree Wines working vineyard and associated cellar door are existing on the land.

In the south-western portion of the land is an area of bush and wetlands. This area was established in 2001 by the landowners who started Gemtree Wines.

It was previously cleared land used for cattle grazing, however over 50,000 native trees and shrubs were planted in order to restore the land to its natural state, improve the biodiversity of the vineyards, contribute to the survival of local native species and ensure ecological balance on the site. This area has now become a haven for native birds, plants and animals. Gemtree Wines have established a publicly accessible “Eco Trail” through this bushland, including a path, rest stations and shelters.

The north-western portion of the site features a cluster of mature trees, but remains mostly cleared of vegetation resulting from historical grazing land uses.

4. BUSHFIRE MANAGEMENT STRATEGIES

The following bushfire management strategies are to be utilised in the proposed development.

4.1 LOCATION

The proposed cabin locations:

- are not located on portions of land with a steep gradient; and
- are within natural clear areas, and do not require the clearance of any existing vegetation.

Whilst the cabins are proposed to be located within 20 metres of existing vegetation, the vegetation is not dense, has limited undergrowth and is part of a small collection of vegetation (i.e. it is not part of a larger, denser area of vegetation such as a forest).

4.2 DESIGN

The cabins have been designed to minimise potential damage during an ember attack. Their simple exterior and roof forms are intended to reduce opportunities for embers to be trapped in the structure.

Once installed, the wheels of the cabins will be removed temporarily, as they pose a risk in a fire.

As the cabins will be elevated above the ground, their underside will be enclosed with a cement sheet product (sycon axon) or a hardwood to ensure that burning debris cannot be trapped underneath the structure.

Finally, a 22,000L dedicated bushfire water tank will be provided on-site for use by fire authorities, noting that the existing dams on the site can also be used as a water source.

4.3 ACCESS

The enclosed Bushfire Management Plan shows that cabins will be accessible to emergency vehicles (fire trucks) through proposed access tracks, which will:

- have a formed width of 3 metres;
- include appropriately dimensioned and located turning areas;
- not be located within close proximity of thick vegetation or overhanging branches; and
- include appropriately dimensioned passing bays at the specified intervals.

4.4 OPERATIONAL

A number of strategies will be put in place to avoid guests starting or being caught in a bushfire.

These strategies include:

- at the time of booking, guests will be notified by CABN Pty Ltd of:
 - » the applicable fire season;
 - » the likelihood of fire danger (predicted Fire Danger Ratings) for the duration of their stay and advised of the potential risks; and
 - » any campfire bans which are likely to be in place during their stay.
- a contact list for emergency services in the local area will be provided within each cabin;
- battery-operated fire radios will be included within each cabin to notify guest of a bushfire emergency;
- fire extinguishers and/or fire blankets will be provided within each cabin to control any small fires;
- maintenance staff will regularly check that fire extinguishers, blankets and radio batteries are all up to date and in working order in all cabins;
- dedicated fire pits will be provided to each cabin in an appropriate location;
- information relating to the safe use of campfires will be included within each cabin (e.g. do not locate the campfire within 10 metres of the cabin or surrounding vegetation);
- guests will be requested to carry the provided battery-operated bushfire radio with them if venturing into areas without mobile phone coverage or without mobile phones;
- a Bushfire Emergency Plan will be provided to each cabin and emailed through to guests prior to their stay, informing guests of what to do in a bushfire emergency (see Section 4.5 below);
- CABN Pty Ltd will regularly update their Bushfire Emergency Plan in consultation with the CFS and best practice guidelines; and
- on Extreme or Catastrophic Bushfire Risk days, all CABNs will be closed, and CABN staff will notify guests of cancellations or the need for early departures by 5:00pm the day prior (noting that Bushfire Warnings are released at 4:30pm each day).

4.5 EMERGENCY SITUATIONS

In the event of a bushfire, it will be critical for guests to either gather in a safe location or, if possible, exit the area as quickly as possible using a route deemed most appropriate by the relevant fire authorities.

To facilitate this action, and as noted above, each cabin will be provided with a Bushfire Emergency Plan which will also be emailed through to guests prior to their stay. The details of the Bushfire Management Plan for this site are to be developed and finalised in consultation with the CFS.

Information to be provided within this plan will include (but not necessarily be limited to):

- advice in relation to the location and operation of the battery-operated bushfire radio;
- a map of each cabin's location and the safe gathering location;
- the procedure for evacuation in the event of a bushfire;

- the responsibilities of either Gemtree Wines or CABN in relation to information they will need to provide to guests, such as:
 - » the type of warning CFS have put in place, and what this means in relation to whether guests should leave the area or stay and take refuge; and
 - » exit route options for guests.

In the event that there is a possible fire threat, but the danger is not immediate, CABN Pty Ltd will attempt to retrieve and re-locate the mobile cabins to another safe and temporary location.

5. CONCLUSION

Although the cabins are located within a high bushfire risk area strategies can be implemented to protect guests and the cabins in the event of a bushfire.